



**GRAND RIVER CORRIDOR IMPROVEMENT
AUTHORITY MEETING**

**Thursday, May 9, 2019 – 8:00 a.m.
Conference Room A – City Hall
23600 Liberty Street
Farmington, MI 48335**

AGENDA

- 1. CALL TO ORDER**

- 2. APPROVAL OF AGENDA**

- 3. APPROVAL OF MINUTES**
 - A. April 11, 2019 Minutes**

- 4. DISCUSSION AND REVIEW OF SPECIAL LAND USE – BURGER KING (FORMERLY PARAMOUNT HEALTH CARE), 31806 GRAND RIVER AVENUE**

- 5. PUBLIC COMMENT**

- 6. BOARD COMMENT**

- 7. ADJOURNMENT**

**CITY OF FARMINGTON
GRAND RIVER CORRIDOR IMPROVEMENT AUTHORITY
MINUTES
April 11, 2019**

CALL TO ORDER

The Farmington Grand River Corridor Improvement Authority meeting was called to order at 8:08 a.m. by Economic and Community Development Director Christiansen.

Members Present: Accettura, Bowman, Carron, Graham, King, Thomas
Members Absent: O'Dell
Staff: Christiansen, Murphy, Bowdell

APPROVAL OF AGENDA

Motion by Bowman, supported by Graham to approve the agenda. Motion approved unanimously.

APPROVAL OF MINUTES

- A. Motion by Carron, supported by Thomas to approve the March 14, 2019 minutes. Motion approved unanimously.

DISCUSSION OF DRAFT CITY OF FARMINGTON MASTER PLAN UPDATE 2018-2019

Christiansen reviewed the Draft City of Farmington Master Plan Update 2018-2019 with the Board. The Board discussed the draft plan and provided comments. The Board supports the focus areas plans within the Grand River Corridor and in the draft Master Plan as presented and proposed.

PUBLIC COMMENT

None.

BOARD COMMENT

None.

ADJOURNED AT 9:30 a.m.

**Farmington Grand River Corridor
Improvement Authority
Staff Report**

**Grand River Corridor
Improvement Authority**
Date: May 9, 2019

**Reference
Number
4**

Submitted by: Kevin Christiansen, Economic and Community Development Director

Description Review and Discussion of Special Land Use – Burger King (formerly Paramount Health Care), 31806 Grand River Avenue

Background

The City has received a Special Land Use Application for a proposed Burger King Restaurant with a drive-through intended to be located at 31806 Grand River Avenue (former Paramount Health Care) within the Grand River Corridor. The subject property is currently zoned C-2 Community Commercial. Restaurants with a drive-through are a Special Land Use in the C-2 District.

Attached for your review and consideration is a copy of the Special Land Use Application and a proposed site plan submitted by the applicant/petitioner; a copy of a review letter from the City Planning Consultant, OHM Advisors, dated 5/3/19; and copies of letters regarding the proposed Burger King Restaurant received by the City.

Attachments



CITY OF FARMINGTON

For office use only

Date Filed: _____

Fee Paid: _____

Special Land Use Application

1. Project Name Burger King Restaurant with Single Drive-Through

2. Location of Property

Address 31806 Grand River Avenue

Cross Streets Brookdale Street and Lake Way

3. Identification

Applicant Carrols, LLC

Address 968 James Street

City/State/Zip Syracuse, New York 13203

Phone (901) 515-6865 Fax _____

Interest in the Property (e.g. fee simple, land option, etc.)

Property Owner Other (Specify) Option Holder

Property Owner Paramount Home Care, Inc.

Address 31806 Grand River Avenue

City/State/Zip Farmington, Michigan 48336

Phone (248) 489-9068 Fax (248) 489-9352

Preparer of Site Plan The Mannik & Smith Group, Inc.

Address 1160 Dublin Road, Suite 100

City/State/Zip Columbus, Ohio 43215

Phone (614) 441-4222 Fax (888) 488-7340

4. Property Information

Zoning District C2/R1P Area 0.90 acres

Width 175' frontage Depth Variable

Current Use Paramount Home Care - offices

Zoning District of Adjacent Properties to the

North R1 South R4/C3 East C2 West C2

5. Proposed Use

| | | | |
|-------------------------------------|---------------|------------------|--------------------------|
| <input type="checkbox"/> | Residential | Number of Units | _____ |
| <input type="checkbox"/> | Office | Gross Floor Area | _____ |
| <input checked="" type="checkbox"/> | Commercial | Gross Floor Area | <u>3,065 square feet</u> |
| <input type="checkbox"/> | Industrial | Gross Floor Area | _____ |
| <input type="checkbox"/> | Institutional | Gross Floor Area | _____ |
| <input type="checkbox"/> | Other _____ | Gross Floor Area | _____ |

6. Special Land Use Criteria. The applicant must provide written responses to the special land use criteria as noted on page 3 of this application.

A copy of the complete legal description of the property and proof of property ownership should accompany this application.

I, Amanda Aldridge, Real Estate Manager (applicant), do hereby swear that the above statements are true.

[Signature] 4.25.19
Signature of Applicant Date

[Signature] 4/25/19
Signature of Property Owner Date

I, ZAHID MUNIR (property owner), hereby give permission for City of Farmington officials, staff, and consultants to go on the property for which the above referenced site plan is proposed for purposes of verifying information provided on the submitted application.

| |
|--|
| <p><u>City Action</u></p> <p>Approved/Denied: _____</p> <p>Date: _____</p> <p>By: _____</p> <p>Conditions of Approval: _____</p> <p>_____</p> <p>_____</p> |
|--|

- a. The proposed special land use shall be compatible with and in accordance with the general goals, objectives and policies of the City of Farmington Master Plan.

The proposed special land use maintains the existing commercial frontage, while buffering and green space in the R1P area of the site will protect the adjacent neighborhood from adverse effects to its quality, character, and privacy. The parcel's future land use is listed as a Neighborhood Center in the Farmington Master Plan, which as a restaurant with a drive-through, will complement the uses provided throughout the neighborhood and serve the daily needs of the residents in the community.

- b. The special land use shall promote the intent of the zoning district in which the use is proposed.

The parcel is zoned C2, Community Commercial, which would be served by the proposed restaurant and drive-through. The intent of the C2 District is to provide convenient services to nearby residents and to harmonize with the character of surrounding uses. The design of the building and layout of the site will coordinate with other businesses in the corridor and positively contribute to the value of the community.

- c. The special land use shall be compatible with the existing or intended character of the general vicinity and shall not change the essential character of the area in which it is proposed.

Development on the subject parcel is limited to the C2 zoning portion of the site, which preserves the R1P portion of the parcel to act as buffering and green space to the residential district, located north of the site. The development will retain the existing character of the corridor, and provide a new restaurant and business to the community.

- d. The special land use shall be served adequately by public facilities and services such as traffic operations, police and fire protection, drainage structures, water and sewer facilities and schools.

The proposed special land use is served by public water and sanitary sewer, and will result in a reduced storm water runoff rate by detaining water on-site and discharging through a metered outlet. The storm water discharge will also be treated to address water quality, in accordance with Federal requirements. The special use proposed will not cause an undue burden on local police or fire protection services, and will result in an attractive redevelopment of an existing building.

- e. The proposed special land use shall not involve uses, activities, processes, materials, equipment or conditions of operation that in comparison to the uses permitted in the district, will be detrimental to the natural environment, public health, safety or welfare.

The special land use proposed for this site (drive-through incidental to a restaurant) will complement the proposed development of the site and surrounding areas. The special land use will not be detrimental to the natural environment or the health, safety, or welfare of the public. The site is not located within a floodplain area, and the proposed use will redevelop an existing parcel within the urban area of the corridor.

** The special land use criteria included above is not the only requirement for special land use applications. For additional information please refer to ARTICLE 12 SPECIAL LAND USES of the City of Farmington Zoning Ordinance.*

PROJECT NARRATIVE

PROPOSED DEMOLITION OF A BANK AND CONSTRUCTION OF A BURGER KING RESTAURANT AND ASSOCIATED UTILITIES AND PARKING ON LOTS 82 THRU 85, EXCEPT THE SOUTH 50' FOR ROAD AND ALL OF LOT 118, BROOKDALE SUBDIVISION, RECORDED IN LIBER 12 OF PLATS, PAGE 25, OAKLAND COUNTY RECORDS (0.90 ACES). TAX ID: 23-27-403-136.

BENCHMARKS

ALL ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) ESTABLISHED BY USING THE MICHIGAN DEPARTMENT OF TRANSPORTATION MSRN/RTCM SYSTEM AND GEOID 12B.

BENCHMARK #200

SET MAG NAIL IN N.E. FACE OF POWER POLE AT N.W. QUADRANT OF GRAND RIVER AVENUE AND LAKE WAY. ELEV = 704.26

BENCHMARK #201

SET MAG NAIL IN S.E. FACE OF POWER POLE AT BACK AND N.E. CORNER OF BUILDING, BUILDING ON ADJACENT PROPERTY TO THE WEST. ELEV = 708.39

UTILITY NOTE

ALL UTILITIES ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE SHOWN PER RECORD PLAN AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION AND DEPTH OF ALL SERVICE LINES. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY MISS DIG 811 AT EITHER (811 OR 1-800-482-7171) THREE (3) BUSINESS DAYS IN ADVANCE BUT NOT MORE THAN FOURTEEN (14) DAYS BEFORE CONDUCTING EXCAVATION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E.; CABLES, ELECTRIC WIRES, GAS & WATER LINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS AND IN THE TECHNICAL SPECIFICATIONS & SPECIAL PROVISIONS.

UTILITY CONTACTS

GAS COMPANY
CONSUMERS ENERGY
PHONE: (800) 805-0490

ELECTRIC COMPANY
DTE ENERGY
8001 HAGGERTY ROAD
BELLEVILLE, MI 48111
PHONE: (734) 397-4321

COMMUNICATION
AT&T
PHONE: (866) 620-6900

WATER, SANITARY SEWERS AND STORM SEWER
CITY OF FARMINGTON DEPARTMENT OF PUBLIC WORKS
23600 LIBERTY STREET
FARMINGTON, MI 48335
CONTACT: CHUCK EUDY
PHONE: (248) 473-7250

AS-SURVEYED LEGAL DESCRIPTION:

A PARCEL OF LAND SITUATED IN THE CITY OF FARMINGTON, COUNTY OF OAKLAND, STATE OF MICHIGAN: LOTS 82 THROUGH 85, EXCEPT THE SOUTH 50 FEET FOR ROAD, AND ALL OF LOT 118, BROOKDALE SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 12 OF PLATS, PAGE 25, OAKLAND COUNTY RECORDS, ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 118; THENCE SOUTH 05°01'27" EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF LAKE WAY (75 FEET WIDE) 148.38 FEET TO THE SOUTHEAST CORNER OF SAID LOT 118; THENCE NORTH 62°30'09" WEST ALONG THE SOUTHERLY LINE OF SAID LOT 25.00 FEET TO THE NORTHEAST CORNER OF LOT 85; THENCE ALONG THE EAST LINE OF LOT 85 SOUTH 05°00'00" EAST 150.00 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF GRAND RIVER AVENUE; THENCE NORTH 62°30'00" WEST ALONG THE NORTHERLY LINE OF GRAND RIVER AVENUE 175.00 FEET TO THE WEST LINE OF LOT 82; THENCE ALONG THE WEST LINE OF LOT 82 NORTH 05°00'04" WEST 149.99 FEET TO THE NORTHWEST CORNER OF LOT 82, ALSO BEING THE SOUTHERLY LINE OF LOT 118; THENCE NORTH 62°30'09" WEST 76.18 FEET TO THE WESTERLY CORNER OF LOT 118; THENCE ALONG THE NORTH LINE OF LOT 118 NORTH 85°00'01" EAST 232.88 FEET TO THE POINT OF BEGINNING. CONTAINS 0.90 ACRES, MORE OR LESS. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

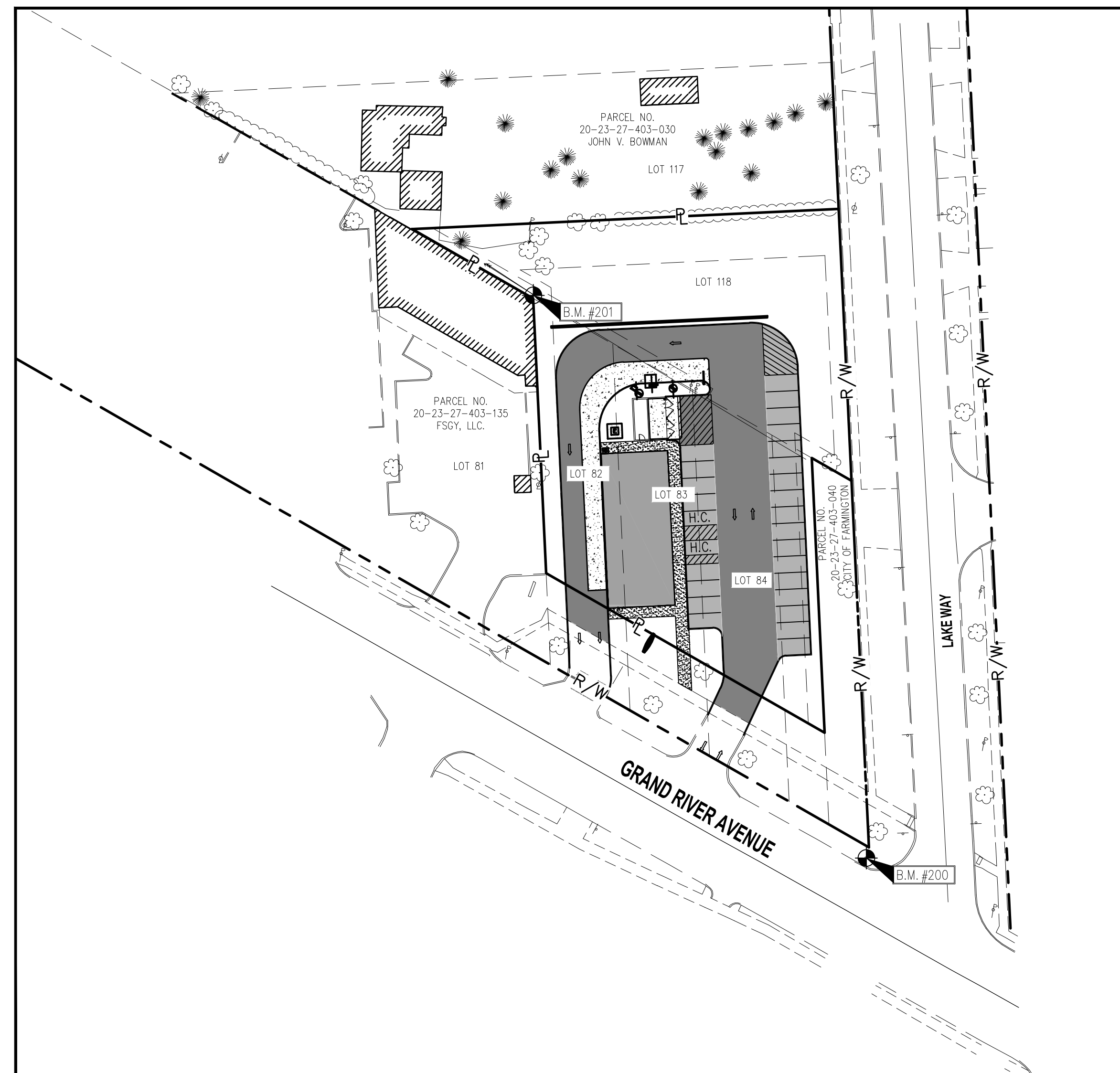
PRELIMINARY SITE PLAN DRAWINGS

FOR

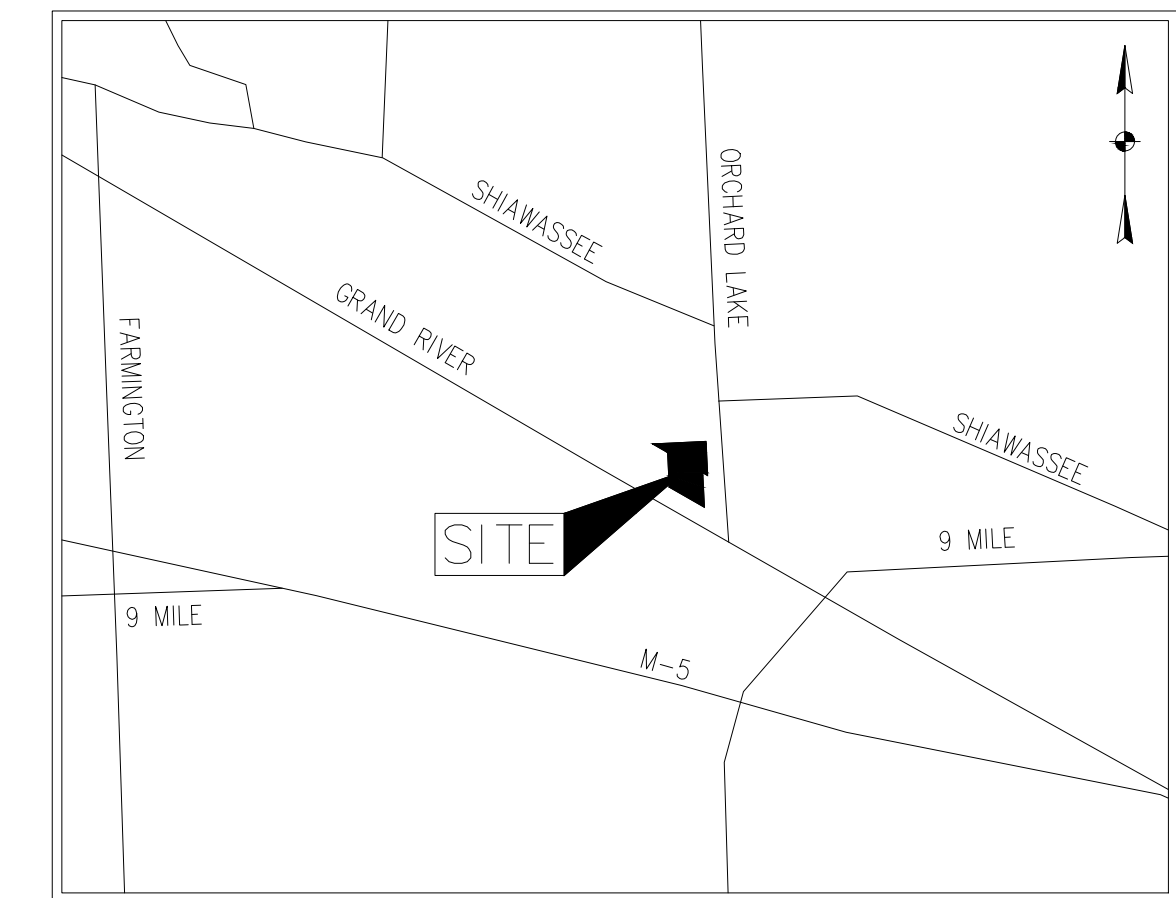
BURGER KING

31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336

2019



INDEX MAP
SCALE: 1"=50'



VICINITY MAP
NOT TO SCALE

DEVELOPER

CARROLS CORPORATION
968 JAMES STREET
SYRACUSE, NY 13203
CONTACT: AMANDA ALDRIDGE
PHONE: 901.515.6865

OWNER

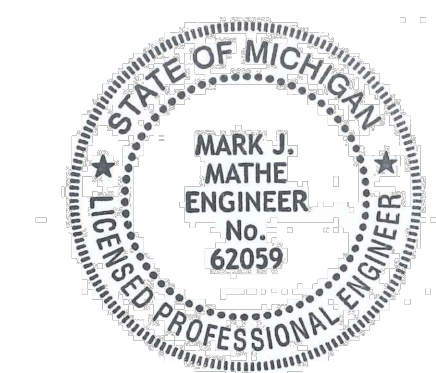
PARAMOUNT HOME CARE
31806 GRAND RIVER AVENUE
FARMINGTON, MI 48336

SHEET INDEX

| | |
|---------------------------------------|------|
| TITLE SHEET..... | C000 |
| GENERAL NOTES..... | C001 |
| SITE DETAILS..... | C002 |
| SITE DETAILS..... | C003 |
| EXISTING CONDITION AND DEMO PLAN..... | C100 |
| PRELIMINARY SITE PLAN..... | C200 |
| PRELIMINARY GRADING PLAN..... | C300 |
| PRELIMINARY UTILITY PLAN..... | C400 |
| LANDSCAPE PLAN..... | L100 |
| LANDSCAPE NOTES AND DETAILS..... | L101 |



CONTACT: MARK J. MATHE, P.E.
MAILING ADDRESS: 1160 DUBLIN ROAD, SUITE 100
CINCINNATI, OH 45242
(614) 441-4222
EMAIL ADDRESS: MMA@MANNIKSMITHGROUP.COM



Mark J. Mathe
4-25-2019

MICHIGAN REGISTERED PROFESSIONAL ENGINEER

DATE

PRELIMINARY
NOT FOR CONSTRUCTION

| | | | |
|---|----------------|-----------|---------------------------------------|
| NO. 1 | DATE 4/25/2019 | BY M/M | DESCRIPTION CITY OF FARMINGTON REVIEW |
| 1160 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215 PHONE: (614) 441-4222 FAX: 888-688-7300 | 4/25/2019 | CSS/0009 | DES R/JT |
| PROJECT DATE: | PROJECT NO.: | DRAWN BY: | CHECKED BY: |



PREPARED FOR:
CARROLS CORPORATION
968 JAMES STREET
SYRACUSE, NY 13203

DEVELOPMENT PLAN FOR
BURGER KING
31806 GRAND RIVER AVENUE
FARMINGTON, MICHIGAN 48336

TITLE SHEET

C000



| NO. | DATE | BY | DESCRIPTION |
|---|-----------|-----|---------------------------|
| | 4/25/2019 | MJM | CITY OF FARMINGTON REVIEW |
| PRELIMINARY NOT FOR CONSTRUCTION | | | |
| <p>110 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215 PHONE: 614.888.4836 FAX: 614.888.4837</p> <p>PROJECT DATE: 4/25/2019 PROJECT NO: C553009 DRAWN BY: DES CHECKED BY: RJT</p> | | | |
| TECHNICAL SKILL - CREATIVE SPIRIT. | | | |
| Mannik Smith Group www.MannikSmithGroup.com | | | |
| PREPARED FOR: CARROLLS CORPORATION 968 JAMES STREET SYRACUSE, NY 13203 | | | |
| DEVELOPMENT PLAN FOR BURGER KING 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336 | | | |
| GENERAL NOTES | | | |
| C001 | | | |

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT LOCAL MUNICIPALITY AND COUNTY CODES AND STANDARDS.
- ALL CONSTRUCTION WITHIN A MDOT RIGHT OF WAY SHALL COMPLY WITH ALL MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARDS.
- ALL WORK WITHIN RIGHT OF WAY TO INCLUDE TRAFFIC CONTROL IN ACCORD WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND PER ALL CITY OF FARMINGTON AND MICHIGAN DEPARTMENT OF TRANSPORTATION REQUIREMENTS. ROAD MUST REMAIN OPEN AT ALL TIMES. IF NECESSARY, CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC PLAN AND SUBMIT TO THE CITY OF FARMINGTON AND MICHIGAN DEPARTMENT OF TRANSPORTATION AND OWNER FOR APPROVAL PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO COORDINATE ANY NECESSARY LANE CLOSURES WITH THE CITY OF FARMINGTON AND MICHIGAN DEPARTMENT OF TRANSPORTATION.
- ALL CURB RAMP, SIDEWALKS, AND PARKING AREAS REQUIRED FOR ACCESSIBILITY SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) OF 1990.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ENCOUNTERED ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR THE PROJECT AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
- CONTRACTOR TO COORDINATE TEMPORARY UTILITY OUTAGES WITH APPLICABLE UTILITY COMPANY AND CITY OF FARMINGTON AND NOTIFY NEIGHBORING EFFECTED OWNERS NO LESS THAN 72 HOURS PRIOR TO PLANNED OUTAGE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS INCLUDING THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970. THE CONTRACTOR SHALL EXERCISE PRECAUTION ALWAYS FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT SHALL ALSO BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, INCLUDING THE REQUIREMENTS FOR CONFINED SPACES PER 29 CFR 1910.146.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOSTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER, LOCAL MUNICIPALITY, AND STATE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF PEDESTRIANS AND VEHICLES CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS IN ACCORDANCE WITH MDOT REGULATIONS AND/OR AS REQUIRED OR DIRECTED BY THE SITE ENGINEER OR CONSTRUCTION MANAGER OR LOCAL GOVERNING AUTHORITIES. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS AT ALL TIMES UNLESS WRITTEN APPROVAL FROM MDOT, LOCAL MUNICIPALITY, COUNTY, OR OTHER GOVERNING AUTHORITY IS RECEIVED.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
- THE OWNER AT ITS DISCRETION RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.
- INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISSOJ AT 811 OR 800-482-7171 AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
- ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT, OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY AND AT NO ADDITIONAL COST TO THE OWNER.
- ALL DISTURBANCE INCURRED TO CITY OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE CITY, LOCAL, AND/OR STATE DOT.
- THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED 48 HOURS (2 WORKING DAYS) PRIOR TO THE FIRST CONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.
- WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS, THE WORK SHALL BE DISCONTINUED UNTIL THE PROJECT ENGINEER AND OWNER APPROVE THE METHOD AND MATERIALS TO BE INCORPORATED INTO THE WORK.
- ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED ACCORDING TO THE CITY OF FARMINGTON AND MDOT REQUIREMENTS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR ITS REPRESENTATIVE A SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE.

- ANY TRAFFIC CONTROL REQUESTED OR REQUIRED BY THE CONTRACTOR WILL BE PROVIDED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL. MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, THE EXISTING RIGHT-OF-WAYS, AND CONSTRUCTION AND PERMANENT EASEMENTS, AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- WHERE CONFLICT ARISES BETWEEN ALL SPECIFICATIONS (BOOK OR PLAN BASED) INCLUDING CITY OF FARMINGTON AND MDOT REQUIREMENTS, THE MORE STRINGENT SPECIFICATION SHALL PREVAIL.
- FINAL CLEANUP: THE CONTRACTOR SHALL CLEAN-UP ALL DEBRIS AND MATERIALS RESULTING FROM CONSTRUCTION AND SHALL RESTORE ALL SURFACES, STRUCTURES, DITCHES AND PROPERTY TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AND ALL APPLICABLE GOVERNMENTAL AND REGULATORY AGENCIES.

INDIANA DEM NOTES:

- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT, CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER.
- AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER AT ALL CROSSINGS.
- A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER.
- AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER AT ALL CROSSINGS. BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.

DEMOLITION NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND OWNER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING, AND/OR ABATEMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY LISTED ON THE PLANS.
- ALL DEMOLISHED MATERIALS SHALL BE TAKEN FROM THE SITE IMMEDIATELY (UNLESS OTHERWISE NOTED) AND DISPOSED OFF-SITE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND ORDINANCES. NO BURNING OF ANY MATERIALS WILL BE ALLOWED ON OR OFF SITE. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.
- MATERIALS NOTED ON THE PLANS TO BE SALVAGED TO OWNER SHALL BE STORED IN AREAS INDICATED ON THE PLANS, OR TO THE OWNERS SATISFACTION.
- USE SUITABLE METHODS TO LIMIT DUST AND DIRT TO ADJACENT STRUCTURES OR PROPERTY. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL PROTECT TREES, LANDSCAPING, SITE IMPROVEMENTS, AND OTHER ITEMS NOT SCHEDULED FOR CLEARING, OR THAT MIGHT BE DAMAGED BY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY ITEMS THAT ARE DAMAGED.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION, POLLUTION, AND DUST CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT. REFERENCE THE EROSION CONTROL PLAN, NOTES AND DETAILS.
- THE BUILDING PAD AREA IS DEFINED AS THE AREA TWENTY (20) FEET OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, INCLUDING ATTACHED WALKWAYS, CANOPIES, SIDEWALKS, LOADING DOCKS, UTILITY PADS, AND ANY OTHER SUCH APPURTENANCES.
- ANY AND ALL DAMAGE TO EXISTING PAVEMENT WITHIN THE LAYDOWN AREA SHALL BE REPAIRED.
- ALL UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION SHALL REMAIN INTACT. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION AT THEIR SOLE EXPENSE.
- CONTRACTOR SHALL PERFORM ALL CLEARING, GRUBBING, REMOVAL OF TREES, STUMPS, VEGETATION, AND DEBRIS NECESSARY TO PERFORM THE WORK INDICATED HEREIN. THAT CONTRACTOR SHALL LIMIT LAND DISTURBANCE TO ONLY THAT REQUIRED TO COMPLETE THE PROPOSED IMPROVEMENTS. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.

LAYOUT AND PAVING NOTES:

- THE CONTRACTOR SHALL MAKE HIS OWN PROVISIONS TO PROVIDE A SITE STAGING AREA AND JOB TRAILER (IF REQUIRED) FOR THE PROJECT IMPROVEMENTS.
- THE CONTRACTOR SHALL REFERENCE ALL IRON PINS OR MONUMENTS. IF ANY PINS OR MONUMENTS ARE DESTROYED OR DAMAGED BY THE CONTRACTOR, THEY SHALL BE ACCURATELY REPLACED BY A REGISTERED SURVEYOR IN THE STATE OF MICHIGAN AT THE COMPLETION OF THE PROJECT.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
- ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH MDOT CONSTRUCTION AND MATERIALS SPECIFICATIONS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL SUBMIT A JOB-MIX FORMULA FOR THE BITUMINOUS PAVEMENT TO THE CONSTRUCTION MANAGER FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO THE PLACEMENT OF BITUMINOUS PAVEMENTS.
- ASPHALT SURFACE COURSE SHALL BE LAID WITH THE DIRECTION OF TRAFFIC FLOW IN ALL DRIVE LANES WITHIN PARKING FIELDS.
- DO NOT PLACE MIX ON FROZEN OR WET SURFACES, OR WHEN PRECIPITATION IS OCCURRING.
- DO NOT PLACE MIX WHEN AIR OR SURFACE TEMPERATURE IS BELOW THE FOLLOWING:
 - BINDER COURSE AND WALKS - 40 F
 - WEARING COURSE, ROADWAYS AND PARKING AREAS - 50 F
- ANY MATERIAL DELIVERED TO THE SPREADER HAVING A TEMPERATURE LOWER THAN 250 F SHALL NOT BE USED.

- ALL PAVEMENT MARKINGS, SIGNS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO AASHTO AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL SIGNS SHALL BE CONSTRUCTED OF FLAT SHEET ALUMINUM IN ACCORDANCE WITH STATE HIGHWAY SPECIFICATIONS. STEEL SIGN POSTS SHALL BE USED AND CONFORM TO ASTM A36 OR ASTM A441 AND SHALL BE GALVANIZED IN ACCORDANCE WITH AASHTO M11.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS AS SHOWN ON THE PLANS. PAVEMENT MARKINGS SHALL BE APPLIED PER MANUFACTURER RECOMMENDATIONS. APPLY PAINT TO CLEAN, DRY SURFACES TO YIELD SHARP DEFINITION OF EDGES. AIR TEMPERATURE 50°F MINIMUM. APPLY TWO (2) COATS.
- PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH MDOT CONSTRUCTION AND MATERIALS SPECIFICATIONS AND SHALL BE EITHER COLD LAID PLASTIC TAPE OR PAINTED AS DESIGNATED ON THE PLANS OR PAVEMENT MARKING DETAILS.
- THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY MDOT CONSTRUCTION AND MATERIALS SPECIFICATIONS.
- DIRECTIONAL TRAFFIC ARROWS SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
- A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED FROM THE FACE OF CURB AND ANY PART OF A LIGHT POLE OR TRAFFIC SIGN.
- CONTRACTOR SHALL SAW-CUT IN A NEAT, STRAIGHT LINE FOR SMOOTH TRANSITIONS AT TIE-INS TO EXISTING EDGES OF PAVEMENT AND AT COLD JOINTS OF RECENTLY PAVED PAVEMENT.
- JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
- CONTRACTOR SHALL SAWCUT TIE-INS AT EXISTING CURBS TO ENSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAWCUT AND TRANSITION TO EXISTING PAVEMENT TO ENSURE POSITIVE DRAINAGE.
- ALL CONCRETE SHALL BE 6% (+/-1%) AIR ENTRAINED, 3/4" AGGREGATE AND CONFORM TO A 28 DAY STRENGTH OF 4,000 PSI MINIMUM AND SHALL HAVE A MAXIMUM W/C OF 0.50. ALL CONCRETE SHALL BE MADE WITH TYPE I OR TYPE II CEMENT UNLESS OTHERWISE SPECIFIED.
- ALL SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH. VERTICAL FACES SHALL BE FORMED.
- BASE AND ASPHALT THICKNESS SPECIFIED ARE THE MINIMUM REQUIRED.
- ALL CURB RADI ARE 3", UNLESS OTHERWISE NOTED. FOR CURBED ISLANDS SHOWN WITH ONE LABELED RADIUS, THE LABELED RADIUS SHALL APPLY TO ALL FOUR CORNERS OF THE ISLAND.
- ALL CONCRETE FOR CURBS SHALL BE AIR ENTRAINED TO BE 6% (+/-1%), MADE WITH SAND AND GRAVEL AGGREGATE AND SHALL CONFORM TO A TWENTY EIGHT (28) DAY STRENGTH OF 4,500 PSI MINIMUM, SHALL HAVE A MAXIMUM W/C OF 0.40 AND 130 LBS/LF.
- CONTRACTOR SHALL INSTALL ALL CURBING IN A TRUE LINE AND PROPER GRADE IN ACCORDANCE WITH THE APPROVED SITE PLANS AND APPROPRIATE STATE DOT SPECIFICATIONS. CURVED CURB SECTIONS SHALL BE USED FOR RADI LESS THAN 30'. ALL CURBING SHALL BE BACKFILLED WITH CLEAN AGGREGATE.
- CONTRACTOR SHALL REPAIR ANY CURB DAMAGED DURING CONSTRUCTION ACTIVITIES.
- ALL CURBS SHALL BE FULL DEPTH CONCRETE CURB WITH 6" REVEAL, UNLESS OTHERWISE NOTED.
- BUILDING FOOTPRINTS ARE SHOWN FOR INTENT ONLY. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR BUILDING FOUNDATION AND WALL DIMENSIONS.
- CONTRACTOR TO COORDINATE TRANSFORMER AND GENERATOR PAD DIMENSIONS AND SPECIFICATIONS WITH MEP PLANS AND ELECTRIC PROVIDER PRIOR TO CONSTRUCTION.
- SEE ARCHITECTURAL PLANS FOR FROST SLAB DETAILS AND SPECIFICATIONS.
- CONTRACTOR TO INSTALL ALL UTILITY PIPING, SEWERS, CONDUIT PRIOR TO PAVING OPERATIONS. CONTRACTOR TO COORDINATE ALL SITE UTILITIES WITH UTILITY PLAN, AND MEP PLANS.

GENERAL GRADING & DRAINAGE NOTES:

- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
- THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
- CLEAN HARD FILL MATERIAL SHALL MEET THE REQUIREMENTS OF THE CITY OF FARMINGTON, OAKLAND COUNTY AND ALL REQUIREMENTS OF MICHIGAN DEQ. ANY PERSON USING CLEAN HARD FILL ON A SITE OTHER THAN THE SITE OF GENERATION MUST PROVIDE A WRITTEN NOTICE OF INTENT TO FILL TO THE LICENSING AUTHORITY(ES) WHERE THE CLEAN HARD FILL IS TO BE PLACED AT LEAST SEVEN DAYS PRIOR TO PLACING.
- SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO CATCH BASINS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
- VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
- SPOT ELEVATIONS SHOWN DEPICT THE PROPOSED PAVEMENT OR GROUND SURFACE OR PAVEMENT ELEVATION AT FACE OF CURB, UNLESS OTHERWISE NOTED. TOP OF ALL CONCRETE CURBING IS 6-INCHES ABOVE SPOT ELEVATIONS UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO CONFIRM/CONCUR WITH THE EXISTING GRADES SHOWN HEREIN. THE CONTRACTOR MUST CONFIRM ALL EXISTING GRADES PRIOR TO ANY/ALL EXCAVATION.
- THE CONTRACTOR MUST DOCUMENT EXISTING GRADE DISPUTES BY PROVISION OF A TOPOGRAPHIC SURVEY BY A STATE OF MICHIGAN REGISTERED PROFESSIONAL SURVEYOR, PRIOR TO ANY EARTH DISTURBING ACTIVITIES. IN THE ABSENCE OF THE PROVISION OF TOPOGRAPHIC SURVEY BY THE CONTRACTOR, THE GRADES SHOWN HEREIN WILL BE THE "TOPOGRAPHY OF RECORD" FOR ANY AND ALL SOIL VOLUME DISPUTES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL IMPORT/EXPORT NECESSARY TO ACHIEVE THE PROPOSED GRADES.
- ALL PROPOSED SLOPES 3:1 OR STEEPER AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELISOR MATTING AS PER MDOT SPECIFICATIONS.

- ALL EXCAVATION UNDER OR NEAR EXISTING OR FUTURE PAVEMENT (INCLUDING SIDEWALKS), SUBJECT TO SETTLEMENT, WILL BE BACK FILLED WITH PREMIUM BACKFILL AS DEFINED HEREIN. AT QUESTIONABLE AREAS THE DECISION OF THE ENGINEER, OR HIS REPRESENTATIVE, WILL PREVAIL.
- PAVEMENT EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH SECTION 205 OF MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE CONTRACTOR MAY BE REQUIRED TO MAKE COMPACTION TESTS. TESTS SHALL BE TAKEN BY A TESTING COMPANY APPROVED BY THE ENGINEER. THE COST OF THESE TESTS SHALL BE PAID BY THE CONTRACTOR. "PROOF" ROLLING WILL BE REQUIRED PRIOR TO PAVING AND SHALL BE CONDUCTED PRIOR TO PLACEMENT OF AGGREGATE BASE AND PERFORMED WITH THE OWNER'S INSPECTOR PRESENT AND PAID FOR BY THE CONTRACTOR.

GENERAL UTILITY NOTES:

- PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
- RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.
- ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERALS SHALL CONFORM TO THE INDIANA DEM, APPLICABLE COUNTY AND LOCAL DEPARTMENTS, AND APPROPRIATE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
- ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT AND REPLACED IN ACCORDANCE WITH THE PAVEMENT REPAIR REQUIREMENTS OF LOCAL MUNICIPALITY AND THE DETAILS CONTAINED HEREIN.
- ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
- SANITARY LATERAL AND STORM SEWERS SHALL MAINTAIN 10-FOOT MIN. HORIZONTAL AND 1.5-FOOT MIN. VERTICAL SEPARATION DISTANCE FROM WATER LINES. A 1-FOOT MIN. CLEARANCE SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UTILITIES INCLUDING GAS, ELECTRICAL AND TELEPHONE. ADDITIONAL PROTECTION MEASURES INCLUDING, BUT NOT LIMITED TO, CONCRETE PIPE ENCASEMENT MAY BE REQUIRED IF INDICATED CLEARANCES ARE NOT MET.
- THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
- CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
- CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY SUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
- UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC AND/OR AS REQUIRED BY THE LOCAL UTILITY COMPANY. SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN SERVICES. MINIMUM COVER SHALL BE 36" ON ELECTRIC CONDUITS AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HAND HOLES AS REQUIRED.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
- MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
- THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CONSTRUCTION MANAGER AND IF ALLOWED BY THE CITY AND/OR COUNTY ENGINEERS.
- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF WATER MAINS & SERVICES TO A POINT 5' OUTSIDE OF EACH BUILDING. THE INDIVIDUAL BUILDING CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONNECTIONS TO INTERIOR PLUMBING.
- IN THE EVENT OF CONFLICT OF ANY REQUIREMENTS OR PROVISIONS OF THE WORK INDICATED HEREON, THE SITE ENGINEER SHALL BE NOTIFIED FOR A DETERMINATION OF THE PLAN REQUIREMENTS AND INTENT THEREOF.
- REFERENCE SITE ELECTRICAL PLAN FOR LOCATION OF ELECTRIC CONDUIT FOR ALL SITE ELECTRICAL WORK.
- CONTRACTOR TO SEE MEP SITE PLAN FOR ALL ELECTRICAL AND COMMUNICATION CONDUIT RUNS PRIOR TO START OF CONSTRUCTION.
- ALL UTILITIES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH CITY AND/OR COUNTY STANDARDS AND REGULATIONS. THE CITY OR COUNTY ENGINEERING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE FOR SCHEDULING OF AN INSPECTOR.
- PROPOSED ELEVATIONS SHOWN SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE CITY ENGINEERING DEPARTMENT AND THE CONSTRUCTION MANAGER.
- THE LOCATION, SIZE, AND DEPTH OF THE EXISTING SANITARY LATERAL OR MAIN SHALL BE VERIFIED IN THE FIELD IN THE PRESENCE OF THE CITY INSPECTOR. THE SLOPE OF THE LATERAL TO THE BUILDING WILL THEN BE DETERMINED. THE CITY MUST APPROVE THE TYPE AND LOCATION OF ANY CONNECTION PRIOR TO INSTALLATION. THE EXISTING SANITARY LATERAL SHALL BE TELEVEYED PRIOR TO INSTALLATION OF ANY SANITARY SEWER SYSTEM COMPONENTS. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER IS THE EXISTING LATERAL IS NOT FOUND TO BE IN GOOD CONDITION.
- ALL BACK FLOW PREVENTION DEVICES SHALL BE APPROVED BY THE CITY'S UTILITY DEPARTMENT.
- ALL FIRE SERVICE MAINS SHALL BE INSTALLED BY AN INDIVIDUAL WITH APPROPRIATE CERTIFICATION BY THE GOVERNING AUTHORITY.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

- IN THOSE AREAS WHERE IT IS REQUIRED TO LOWER THE WATER LINE TO CLEAR AN OBSTACLE AND THE DEFLECTION WILL BE GREATER THAN 18", THE USE OF BENDS WILL BE REQUIRED TO CLEAR THE OBSTACLE AND BRING THE WATER MAIN UP TO THE STANDARD FIVE (5) FEET OF COVER.
- CONTRACTOR TO INSTALL SHORING AND/OR TEMPORARY STRUCTURES TO PROVIDE SUPPORT TO ANY AND ALL EXISTING AFFECTED UTILITIES PER UTILITY PROVIDER'S MINIMUM STANDARDS.
- CONTRACTOR TO COORDINATE ALL UTILITY CONNECTIONS, ELECTRICAL AND TELECOMMUNICATIONS CONDUIT, AND GAS LINES WITH M.E.P. PLANS PRIOR TO START OF CONSTRUCTION.

STORM UTILITY NOTES:

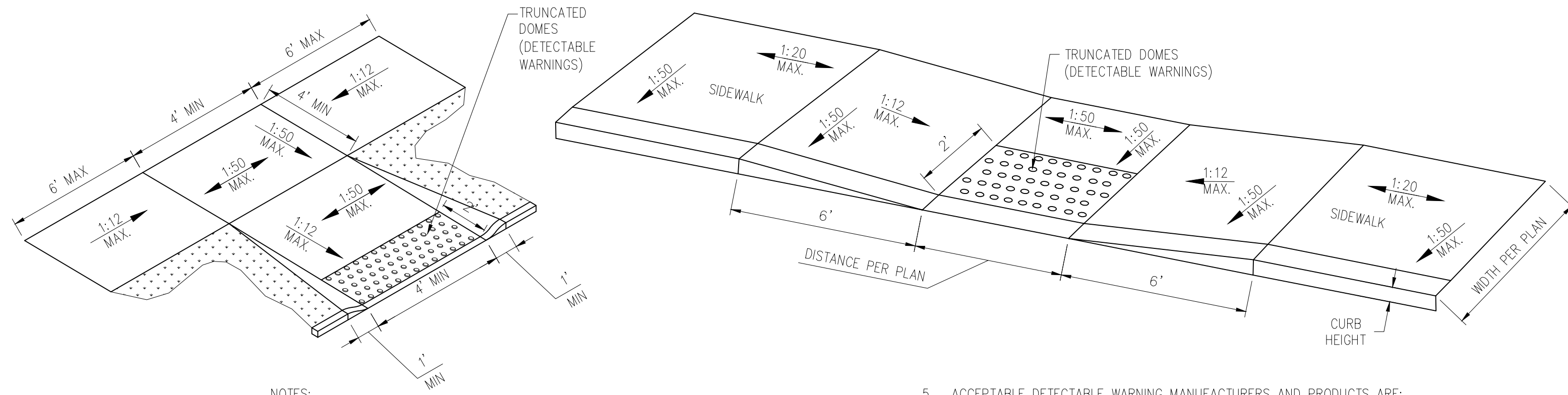
- CURB INLETS ARE TO BE ALIGNED WITH FACE OF CURBS.
- NORTHINGS AND EASTINGS FOR STORM STRUCTURES GIVEN IN SITE PLANS ARE UNDERSTOOD TO REPRESENT THE CENTER OF THE INLET STRUCTURE.
- ALL STORM SEWER PIPES SHALL BE HDPE OR PVC UNLESS STATED OTHERWISE ON THE PLANS.
 - HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER PIPE SHALL HAVE A SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND MEET THE REQUIREMENTS OF ONE OF THE FOLLOWING SPECIFICATIONS: AASHTO M252, TYPE S FOR 4-INCH THROUGH 10-INCH PIPE, AASHTO M294, TYPE S FOR 12-INCH THROUGH 36-INCH PIPE, ASTM F2306 FOR 12-INCH THROUGH 60-INCH PIPE, OR ASTM F2648 FOR 4-INCH THROUGH 60" PIPE. JOINTS SHALL BE SILT-TIGHT BELL AND SPIGOT CONNECTIONS. HDPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
 - POLY VINYL CHLORIDE (PVC) PIPE FOR STORM SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC PIPE SHALL CONFORM TO ASTM D3034 SDR35 WITH COMPRESSION JOINTS AND APPROPRIATE FITTINGS. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
 - RE-INFORCED CONCRETE PIPE (ROP) SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL ROP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
- ALL STORM SEWERS, INLET BASINS AND MANHOLES SHALL BE CLEANED PRIOR TO ACCEPTANCE.

SANITARY UTILITY NOTES:

- SANITARY LATERAL SHALL BE A MINIMUM 6" DIAMETER OF PVC PIPE, ASTM D3034 SDR 26 WITH RUBBER GASKET JOINTS OR APPROVED EQUIVAL. LATERALS SHALL BE CONSTRUCTED WITH A MINIMUM 1% SLOPE, AND HAVE A MINIMUM OF 3 FT. COVER. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- MANHOLE SECTION AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
- TEST FLEXIBLE PIPING FOR DEFLECTION THAT PREVENTS PASSAGE OF BALL OR CYLINDER OF SIZE NOT LESS THAN 95 PERCENT OF PIPING DIAMETER. DEFLECTION OF 5% SHALL NOT BE EXCEEDED.
- TEST SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. PERFORM AIR TESTS ON SANITARY SEWERAGE ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION IN ACCORDANCE WITH UNI-B-6. TEST PLASTIC GRAVITY SEWER PIPING ACCORDING TO ASTM F 1417 AND CONCRETE GRAVITY SEWER PIPING ACCORDING TO ASTM C-924.
- PERFORM HYDRAULIC TEST IN MANHOLES ACCORDING TO ASTM C-969.

WATER UTILITY NOTES:

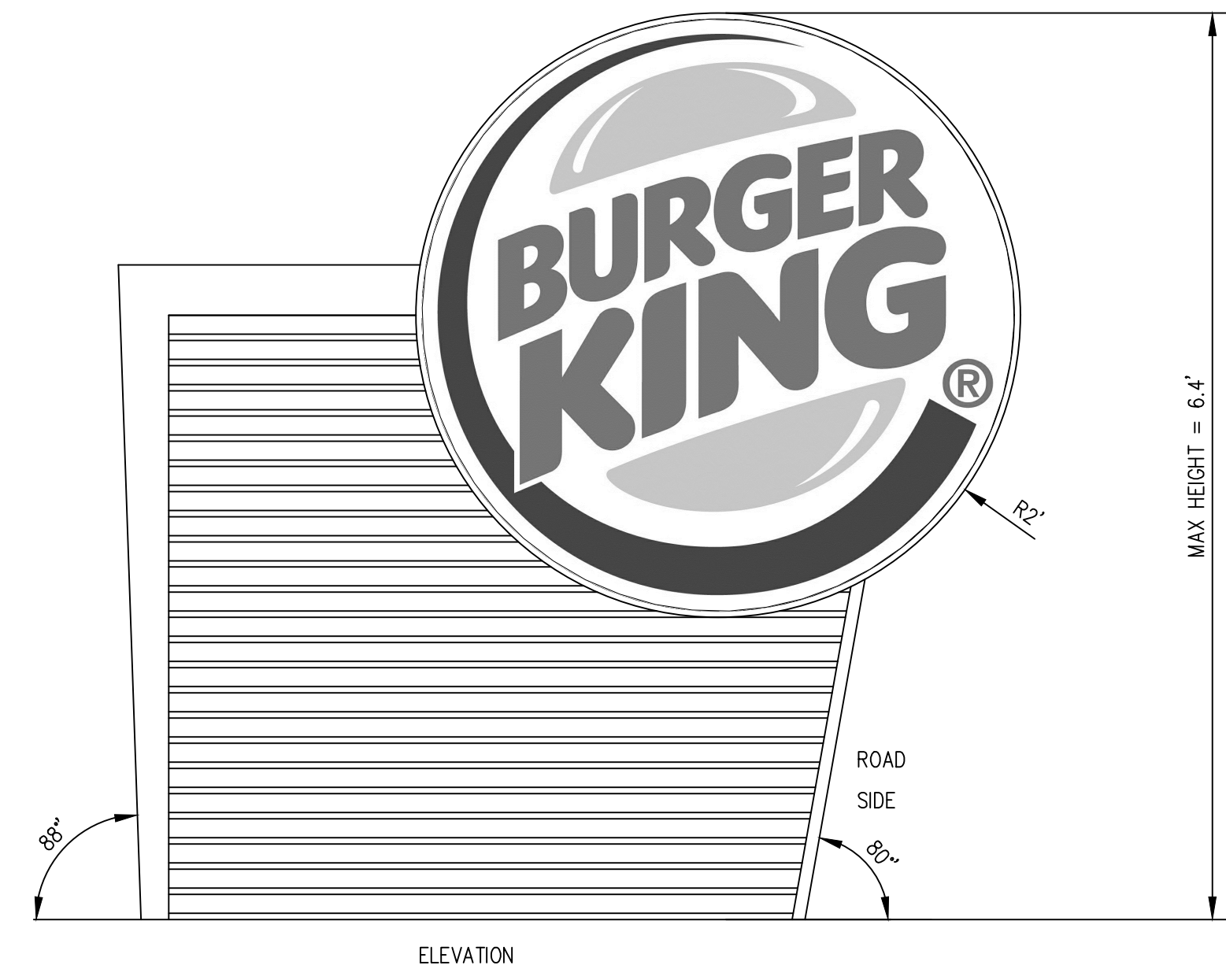
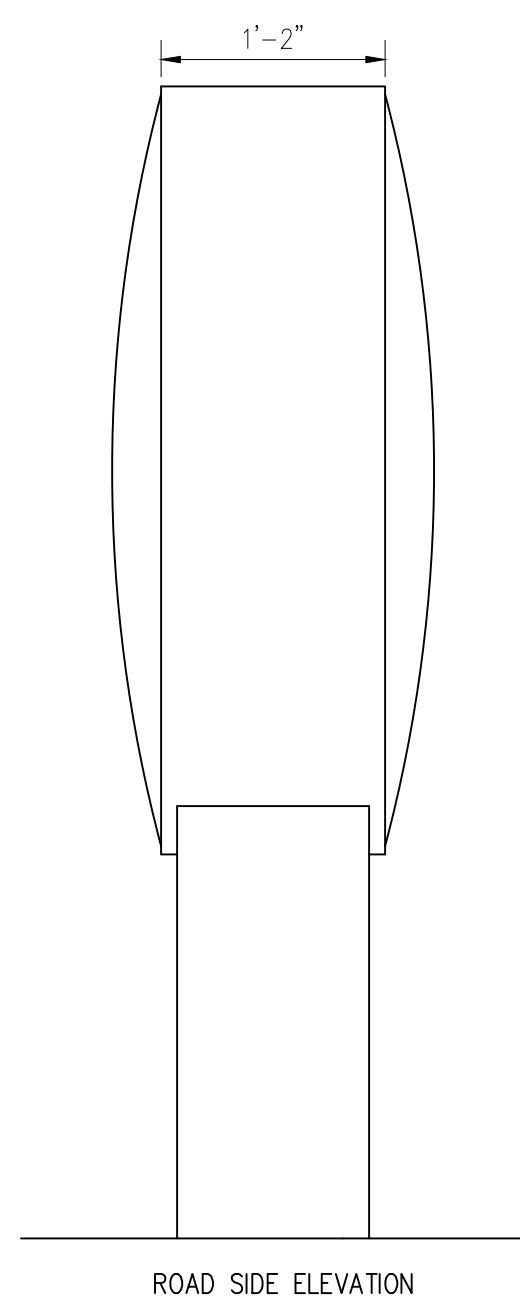
- WATER MAIN SHALL BE MANUFACTURED AND TESTED IN ACCORDANCE WITH ANWA STANDARD C300 FOR POLYVINYL CHLORIDE (PVC) PRESSURE PIPE AND FABRICATED FITTINGS, 4-INCH THROUGH 12-INCH, FOR WATER DISTRIBUTION, OR ANWA STANDARD C309 FOR MOLECULARLY ORIENTED POLYETHYLENE (PE) PRESSURE PIPE, 4-INCH THROUGH 12-INCH, FOR WATER DISTRIBUTION AND CLEARLY MARKED AS SUCH. PVC WATER PIPE SHALL BE CERTIFIED TO NSF INTERNATIONAL STANDARD NO. 61.
- REFERENCE BUILDING PLANS FOR PLACEMENT OF WATER METER AND BACKFLOW PREVENTER INSTALLATION.
- MINIMUM DEPTH OF WATER MAIN COVER SHALL BE FIVE (5) FEET BELOW FINISH GRADE.



- NOTES:**
1. TEXTURE OF CONCRETE RAMP SURFACE SHALL BE OBTAINED BY COURSE BRUISING PERPENDICULAR TO THE RAMP SLOPE AND SHALL BE ROUGHER THAN ADJACENT WALK.
 2. DETECTABLE WARNINGS ARE TO BE INSTALLED THE FULL WIDTH OF THE RAMP OR FLUSH SURFACE AND EXTEND 24" IN THE DIRECTION OF TRAVEL. THE DETECTABLE WARNINGS SHALL BE LOCATED AS INDICATED IN DETAIL AND/OR PLAN.
 3. DETECTABLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCH AND A HEIGHT OF NOMINAL 0.2 INCH.
 4. DETECTABLE WARNINGS ARE TO BE CONSTRUCTED WITH RED PAVERS. THE PAVERS SHALL BE SET ON A 4" UN-REINFORCED CONCRETE BASE. SETTING BED AND JOINTS SHALL BE MORTARED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MORTAR JOINTS ARE TO BE FLUSH WITH THE TOP SURFACE AND STRUCK SO AS TO GIVE A SMOOTH SURFACE. PAVERS SHALL BE LAID SUCH THAT JOINTS ARE LEVEL WITH ADJOINING PAVERS IN ORDER TO PROVIDE A SMOOTH TRANSITION FROM PAVEMENT TO PAVEMENT AND FROM PAVEMENT TO CONCRETE SURFACE. A MINIMUM OF 3 INCHES OF CONCRETE SHALL BE PROVIDED ON EACH SIDE OF THE WARNING.

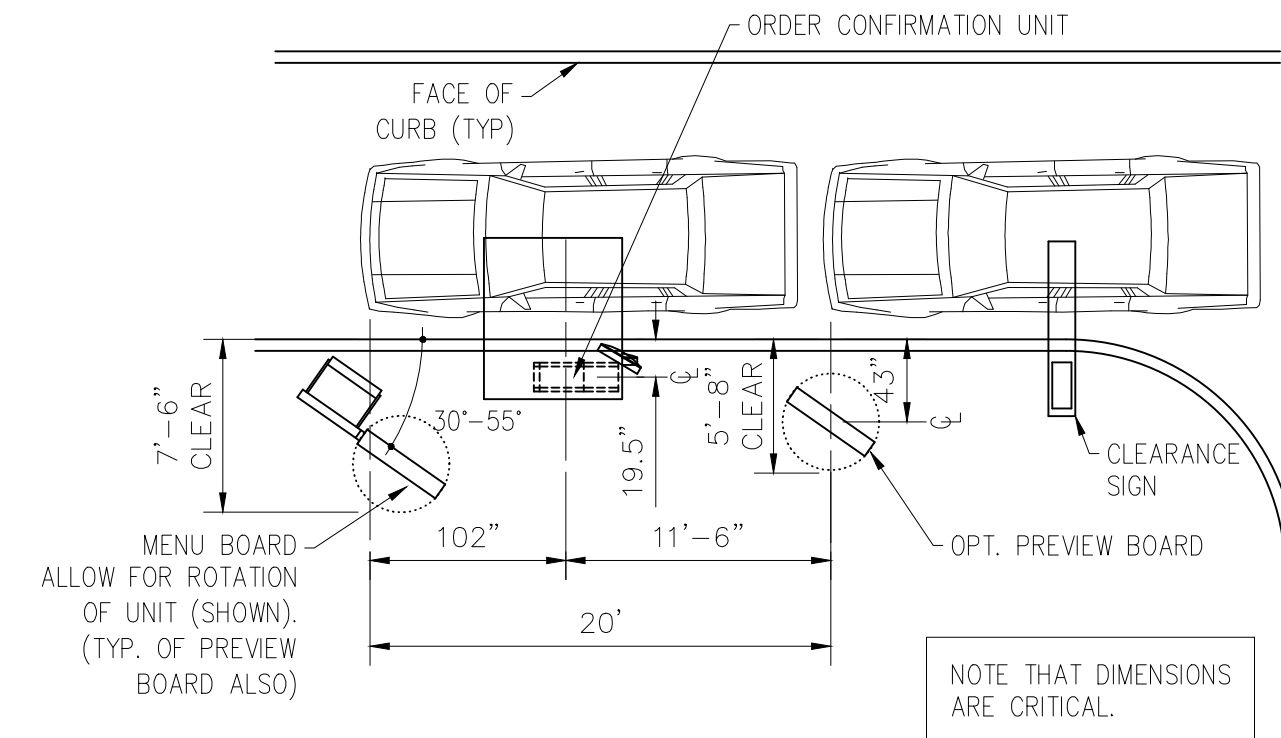
5. ACCEPTABLE DETECTABLE WARNING MANUFACTURERS AND PRODUCTS ARE:
- 5.1. WHITACTE-GREER FIREPROOFING COMPANY, 1400 S. MAHONING AVE. ALLIANCE, OH. 44601 (800)WC PAVER ADA PAVER, 4"x8"x2 1/4", CLEAR RED (RUSTIC) #30
 - 5.2. HANOVER ARCHITECTURAL PRODUCTS, 240 BENDER ROAD, HANOVER PA. 17331, (717)-637-0500 DETECTABLE WARNING PAVER, 12"x12"x2" OR 24"x24"x2", RED OR QUARRY RED
 - 5.3. ENDICOTT CLAY PRODUCTS, P.O. BOX 17, FAIRBURY, NE, 68352 (402)-729-5864 HANDICAP DETECTABLE WARNING PAVER, 4"x8"x2 1/4", RED BLEND.
 - 5.4. ADA SOLUTION INC. WILMINGTON MA. (800)-372-0519 CAST-IN-PLACE REPLACEABLE TACTILE PAVERS, COLOR FAST UV STABLE HOMOGENOUS GLASS & CARBON COMPOSITE WITH FIBERGLASS TRUNCATED DOMES, BRICK RED IN COLOR. OR APPROVED EQUAL.

CURB RAMP DETAILS
NOT TO SCALE



NOTE:
SIGN STRUCTURAL FOUNDATION AS REQUIRED BY SITE CONDITIONS. DESIGN IS THE RESPONSIBILITY OF THE SUBCONTRACTOR.

MONUMENT SIGN
NOT TO SCALE

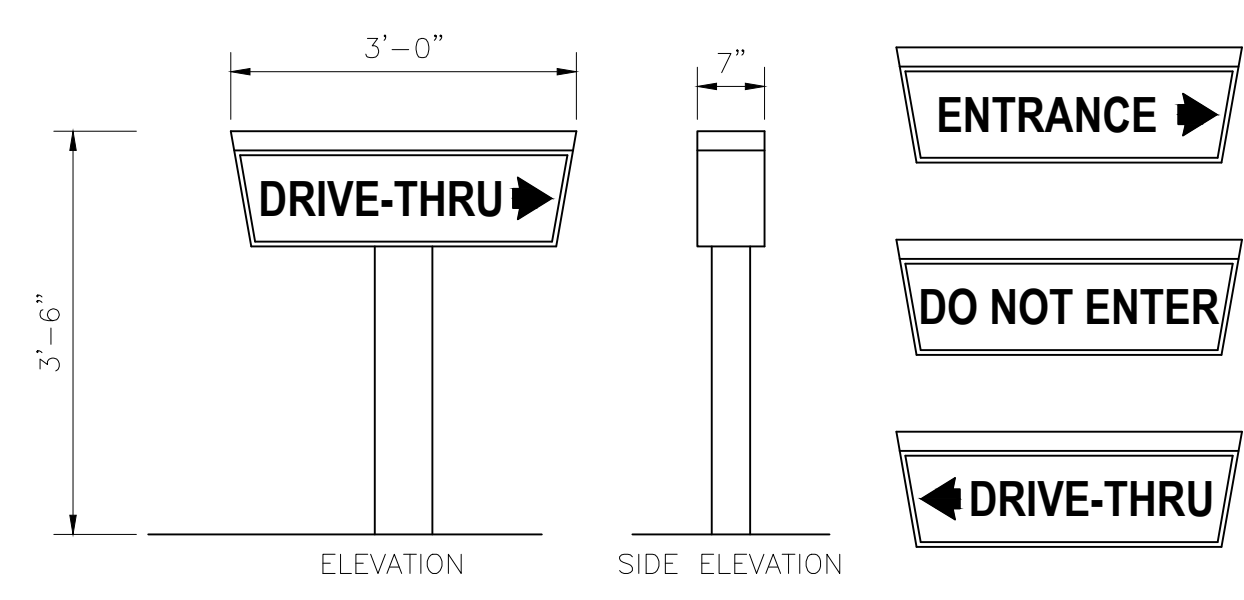


NOTE: THE PREFERRED LAYOUT SHOULD BE USED WHENEVER SPACE ALLOWS. 30° ROTATION ANGLE SHOULD BE CONSIDERED OPTIMAL. ANGLES BETWEEN THE PREFERRED LAYOUT AND MINIMUM LAYOUT ARE ACCEPTABLE AS LONG AS:

- (1) THE DISTANCES FROM THE CENTERLINES OF THE SUPPORT POLES OF THE MENU BOARD AND PREVIEW BOARD TO THE FACE OF CURB ARE REDUCED BY 4" FOR EVERY 5 DEGREES OF ROTATION, AND;
- (2) THE DISTANCE FROM THE CENTERLINE OF THE ORDER CONFIRMATION UNIT AND THE CENTERLINE OF THE MENU BOARD IS REDUCED BY 3" FOR EVERY 5 DEGREES OF ROTATION.

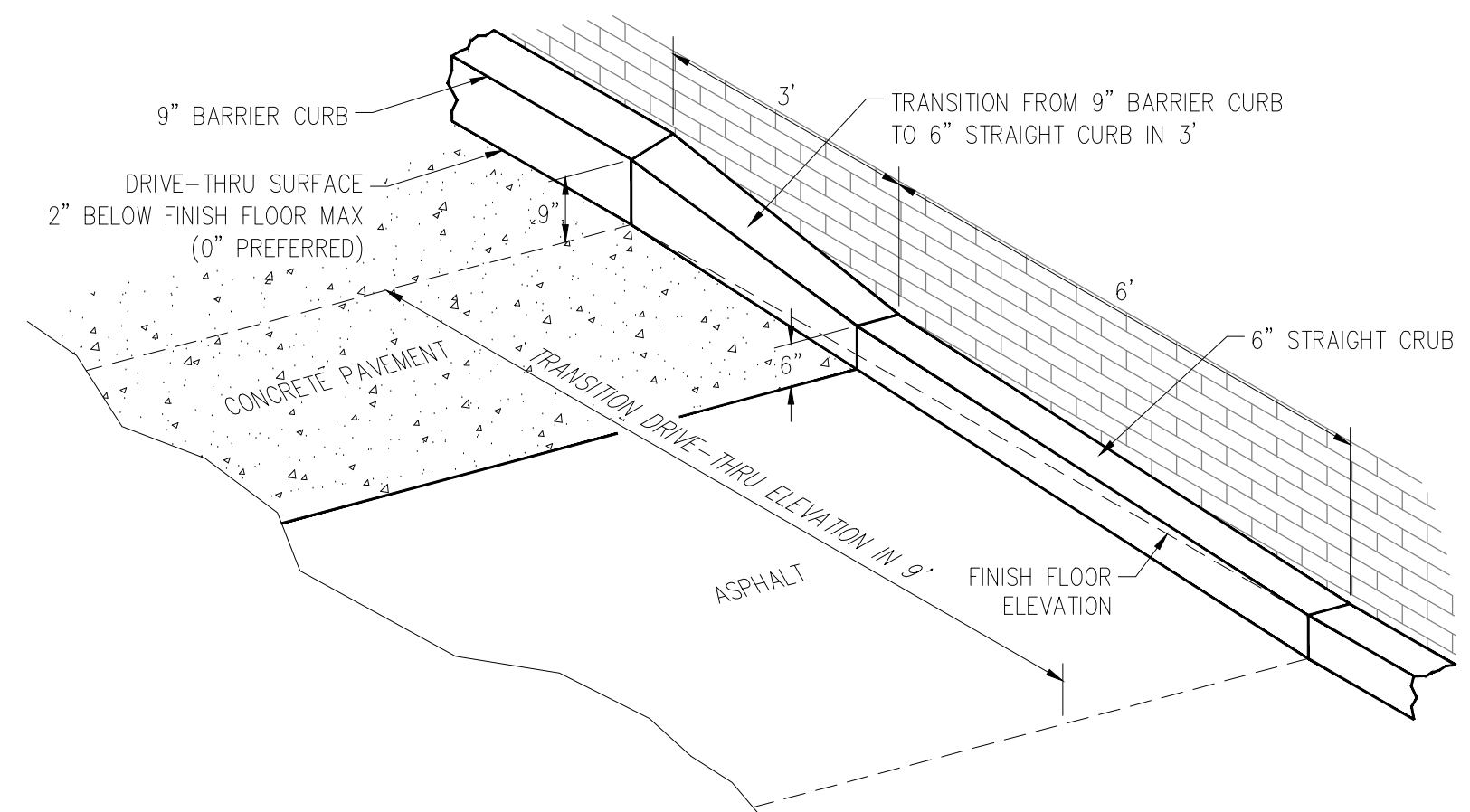
THE CENTERLINE OF MENU BOARD TO CENTERLINE OF PREVIEW BOARD REMAINS AT 20'.

DRIVE THRU ORDER STATION
NOT TO SCALE



NOTE:
SIGN STRUCTURAL FOUNDATION AS REQ'D. BY SITE CONDITIONS. DESIGN IS THE RESPONSIBILITY OF THE SUBCONTRACTOR.

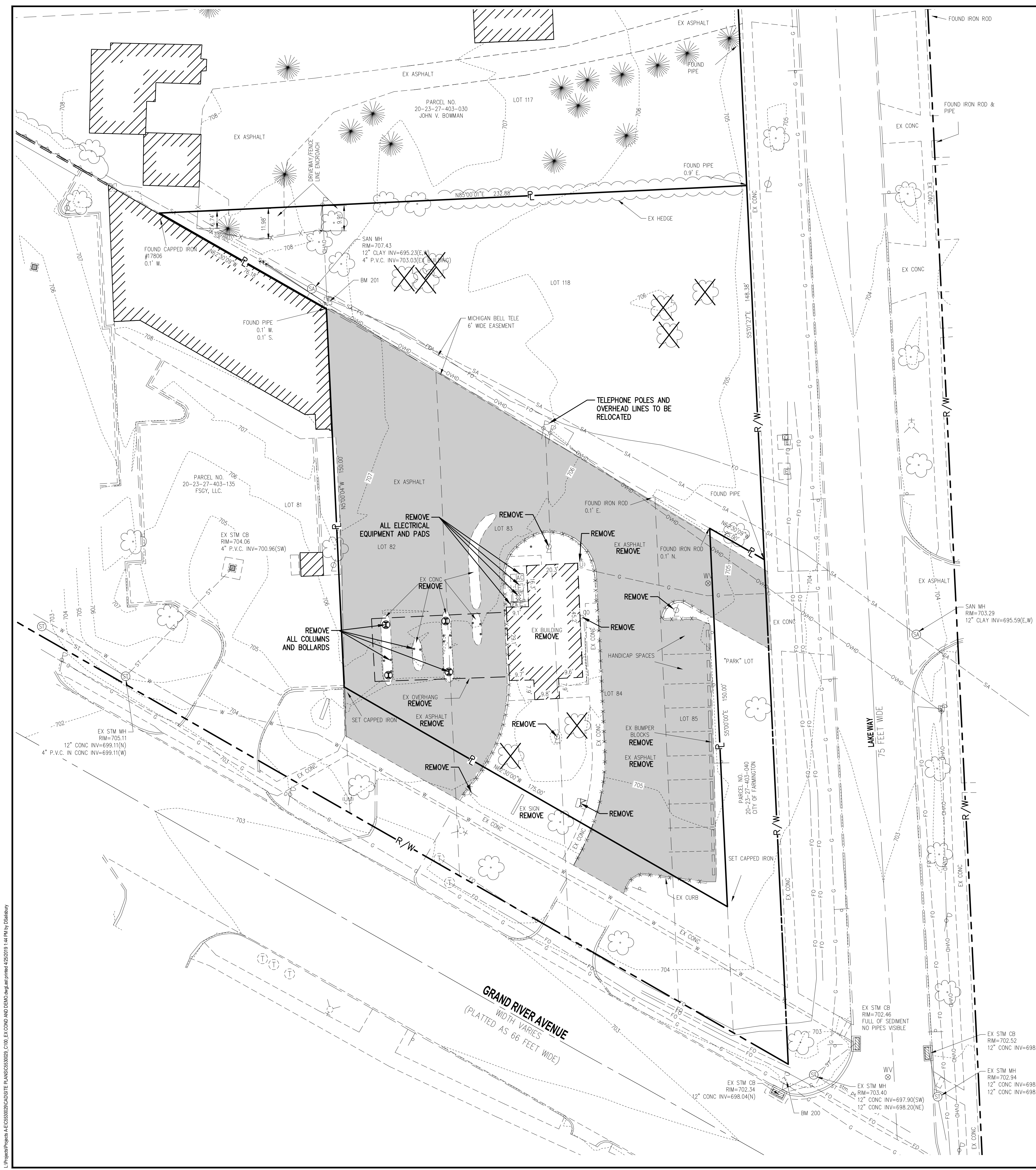
DIRECTIONAL SIGN
NOT TO SCALE



DRIVE-THRU CURB AND PAVEMENT TRANSITION
NOT TO SCALE

| | | | | |
|--|----------------------|---------------|-----------------|---------------------------|
| 1161 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215 TEL: 614-887-4222 FAX: 688-8687340 | NO. | DATE | BY | DESCRIPTION |
| | 1 | 4/25/2019 | NJM | CITY OF FARMINGTON REVIEW |
| PROJECT DATE: 4/25/2019 | PROJECT NO: C5530029 | DRAWN BY: DES | CHECKED BY: RJT | |
| PRELIMINARY NOT FOR CONSTRUCTION | | | | |
| Mannik Smith Group TECHNICAL SKILL. CREATIVE SPIRIT. www.MannikSmithGroup.com | | | | |
| PREPARED FOR: CARROLS CORPORATION 966 JAMES STREET SYRACUSE, NY 13203 | | | | |
| DEVELOPMENT PLAN FOR BURGER KING 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336 | | | | |
| SITE DETAILS | | | | |
| C003 | | | | |

I:\Project\Projects\4-EGS\03020\DRIVE THRU\AS\03020_C003_MSD\EGS.dwg 4/25/2019 1:27 PM by: Dababry

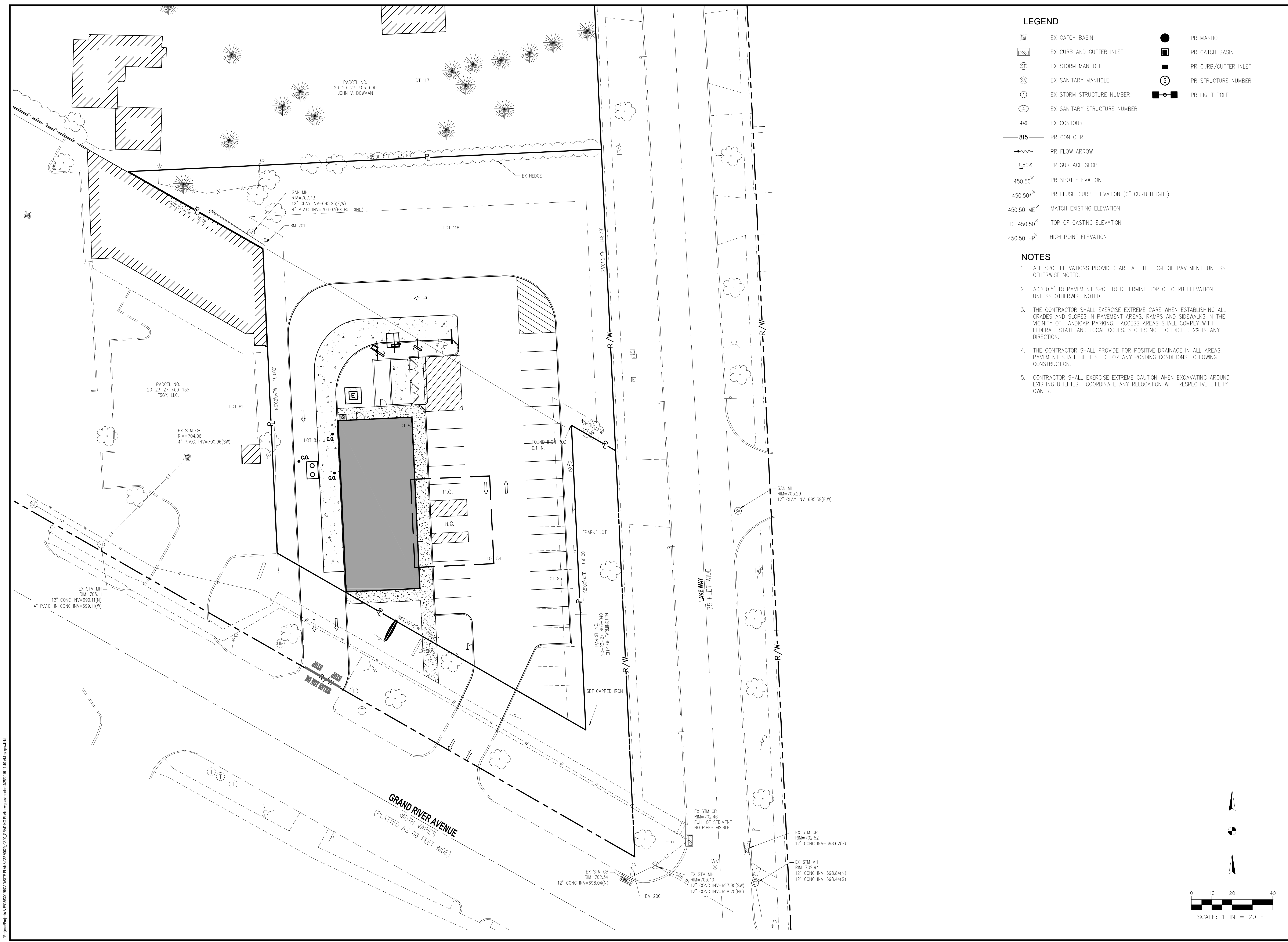


LEGEND

| | | |
|-------|-----|----------------------------|
| --- | W | EX WATER LINE |
| --- | G | EX GAS LINE |
| -X-X- | | EX FENCE |
| --- | FO | EX FIBER OPTICS |
| --- | ST | EX STORM SEWER |
| --- | SA | EX SANITARY SEWER |
| --- | R/W | RIGHT OF WAY |
| --- | P | PROPERTY LINE |
| --- | C | EX CURB |
| --- | G | EX CURB AND GUTTER |
| --- | | BENCHMARK |
| ⊙ | | EX STORM MANHOLE |
| ⊙ | | EX STORM CLEANOUT |
| ⊙ | | EX SANITARY MANHOLE |
| + | | EX FIRE HYDRANT |
| ⊙ | | EX CATCH BASIN, CURB INLET |
| ⊙ | | EX UNIDENTIFIED VALVE |
| ⊙ | | EX UNIDENTIFIED MANHOLE |
| ⊙ | | EX ELECTRIC PEDESTAL |
| ⊙ | | EX BOLLARD |
| ⊙ | | EX ELECTRIC METER |
| ⊙ | | EX ELECTRIC TRANSFORMER |
| ⊙ | | EX CANOPY COLUMN |
| ⊙ | | EX AIR CONDITION |
| ⊙ | | EX LIGHT POLE |
| ⊙ | | EX POWER POLE |
| ⊙ | | EX TELEPHONE PEDESTAL |
| ⊙ | | EX TREE, EX EVERGREEN TREE |
| ⊙ | | DEMO EX TREE |
| ⊙ | | DEMO EX CURB |
| --- | | REMOVE EX ASPHALT PAVEMENT |

- DEMOLITION NOTES**
- CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING, CALCULATING & PRICING HIS OWN QUANTITIES.
 - CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO STARTING DEMOLITION OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SUPPORT OF ALL EXISTING UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL GIVE NOTICE TO THE ENGINEER OF ANY CONFLICTS OR REQUIRED RELOCATIONS NOT SHOWN HEREON.
 - CONTRACTOR SHALL MINIMIZE DISRUPTION TO ADJOINING PROPERTIES AND SHALL COMPLETE WORK AS SOON AS PRACTICAL. CONTRACTOR SHALL COORDINATE THE PHASING OF THE PROJECT WITH THE CONSTRUCTION MANAGER AND ADJACENT OWNERS.
 - CONSTRUCTION DEBRIS GENERATED FROM DEMOLITION IS NOT CONSIDERED TO BE SUITABLE FOR USE IN ON-SITE FILLS, UNLESS THE DELETERIOUS MATERIALS CAN BE SORTED AND BROKEN DOWN SUFFICIENTLY TO MEET THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
 - CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN CONDUCTING GRADING ACTIVITIES IN THE VICINITY OF THE EXISTING GAS, UNDERGROUND AND OVERHEAD ELECTRIC, FIBER OPTIC AND TELEPHONE LINES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL PERMITS ASSOCIATED WITH THE SITE DEMOLITION AND MATERIAL DISPOSAL.
 - ARRANGE WITH THE OWNER A CONVENIENT TIME TO PERFORM DEMOLITION WORK AND INSTALL TEMPORARY PROTECTED MEANS OF EGRESS/INGRESS FROM REQUIRED EXITS, INCLUDING TEMPORARY LIGHTING AND SAFETY DEVICES, ALL IN ACCORDANCE WITH GOVERNING STATE AND LOCAL CODE AND LANDLORD REQUIREMENTS.
 - TRAFFIC: CONDUCT SITE CLEARING OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.
 - PROTECTION: PROVIDE TEMPORARY FENCES, BARRICADES, COVERINGS, OR OTHER PROTECTION TO PRESERVE EXISTING ITEMS INDICATED TO REMAIN AND TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY. PROVIDE PROTECTION FOR ADJACENT PROPERTIES AS REQUIRED.
 - RESTORE INADVERTENT SITE DAMAGE TO CONDITION EXISTING PRIOR TO START OF WORK.
 - STRIP AND STOCKPILE TOPSOIL THAT IS FREE OF CLAY, LARGE STONES AND DEBRIS, FOR REUSE IN GRASSED AND PLANTED AREAS.
 - REMOVE EXISTING IMPROVEMENTS, BOTH ABOVE-GRADE AND BELOW-GRADE TO EXTENT INDICATED OR AS OTHERWISE REQUIRED TO PERMIT NEW CONSTRUCTION AS FOLLOWS:
 - REMOVE COMPLETELY ALL EXISTING WALLS, FLOORS, FOOTINGS, PIERS, SLABS, AND OTHER OBSTRUCTIONS WITHIN THE GROUND AREA TO BE OCCUPIED BY NEW BUILDINGS, UTILITY LINES OR EQUIPMENT FOR A DISTANCE OF 5' BEYOND PERIMETER OF NEW BUILDINGS OR WALLS.
 - EXISTING WELLS, CISTERNS OR CATCH BASINS NOT TO BE REUSED, THAT ARE WITHIN 5' OF THE NEW BUILDING WALLS, SHALL BE CLEANED OUT TO SOLID SUB-GRADE, THEN FILLED WITH SAND TO UNDERSIDE OF NEW FOOTING OR FLOOR SLAB, EXISTING BASEMENT FLOORS, CISTERNS OR CESSPOOLS, OUTSIDE OF BUILDING AREA, IF OF MASONRY OR CONCRETE AND TO BE LEFT IN PLACE, SHALL BE CLEANED OF ALL DEBRIS AND BOTTOMS BROKEN UP TO PROVIDE DRAINAGE BEFORE ANY FILL IS PLACED OVER THEM. ALL STORM SEWER PIPES AT ABANDONED CATCH BASINS SHALL BE BULKHEADED.
 - IN AREAS TO BE SURFACED OR PLANTED, REMOVE ALL EXISTING WALLS, CURBS, PAVING AND OTHER OBSTRUCTIONS TO DEPTH OF 24" BELOW FINISHED GRADE.
 - SALVAGEABLE ITEMS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED (IF ANY), AND STORE ON OWNER'S PREMISES WHERE INDICATED OR DIRECTED.
 - CONTROL AIR POLLUTION CAUSED BY DUST AND DIRT; COMPLY WITH GOVERNING REGULATIONS.
 - FILL DEPRESSIONS AND VOIDS RESULTING FROM SITE CLEARING OPERATIONS, USING SATISFACTORY SOIL MATERIALS, PLACED IN MAXIMUM 6 INCH LIFTS. COMPACT EACH LIFT TO DENSITY OF SURROUNDING ORIGINAL GROUND. GRADE BACKFILLED SURFACE TO CONFORM TO PROPOSED SITE CONTOURS AND TO PROVIDE POSITIVE DRAINAGE.
 - DISPOSE OF WASTE MATERIALS, INCLUDING TRASH AND DEBRIS, AND EXCESS TOPSOIL, OFF OWNER'S PROPERTY IN A LAWFUL MANNER.
 - BURNING OF WASTE MATERIALS ON SITE IS NOT PERMITTED.
 - EXISTING UTILITY CONNECTIONS AND TAPS THAT ARE NOT TO BE REUSED ARE TO BE ABANDONED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE SUPPLIER.
 - ALL STORMWATER CONNECTIONS TO EXISTING BUILDINGS SHALL BE MAINTAINED OR RE-CONNECTED TO AN ACCEPTABLE OUTLET AS APPROVED BY ENGINEER.

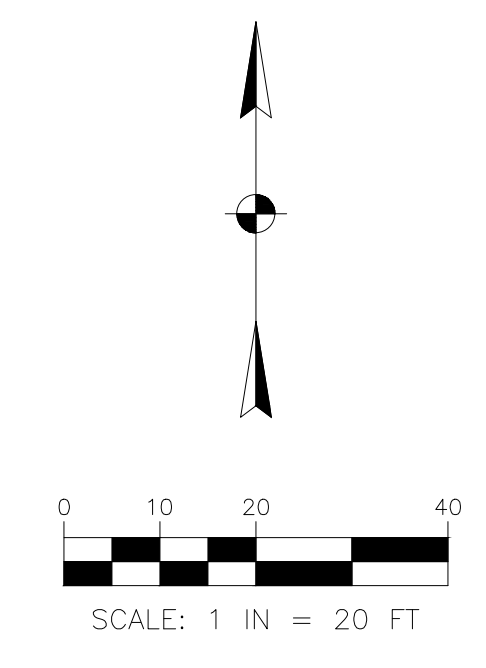
| | | |
|---|--|----------------------------------|
| 118 DUBLIN ROAD, SUITE 100 COLUMBUS OH 43215 TEL: 614 422 4222 FAX: 614 468 6740 | PROJECT NO: 4/25/2019 PROJECT NAME: CS530029 | DRAWN BY: DES CHECKED BY: RJT |
| | PRELIMINARY NOT FOR CONSTRUCTION | |
| TECHNICAL SKILL: Creative Spirit. | Mannik Smith Group www.MannikSmithGroup.com | |
| PREPARED FOR: CARROLLS CORPORATION 988 JAMES STREET SYRACUSE, NY 13203 | DEVELOPMENT PLAN FOR BURGER KING 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336 | |
| EXISTING CONDITIONS AND DEMOLITION PLAN | | C100 |



LEGEND

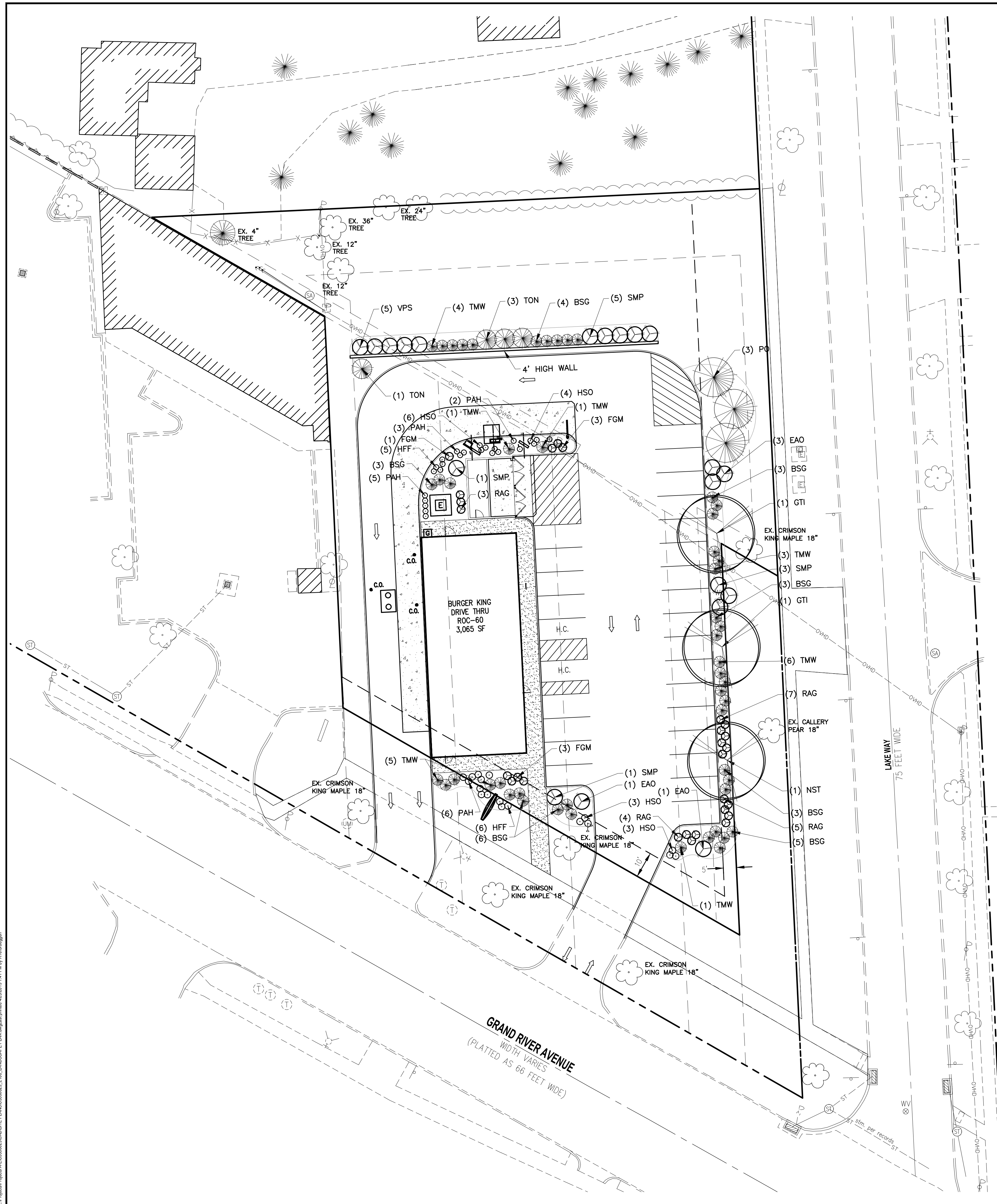
| | | | |
|--|--------------------------------|--|----------------------|
| | EX CATCH BASIN | | PR MANHOLE |
| | EX CURB AND GUTTER INLET | | PR CATCH BASIN |
| | EX STORM MANHOLE | | PR CURB/GUTTER INLET |
| | EX SANITARY MANHOLE | | PR STRUCTURE NUMBER |
| | EX STORM STRUCTURE NUMBER | | PR LIGHT POLE |
| | EX SANITARY STRUCTURE NUMBER | | |
| | EX CONTOUR | | |
| | PR CONTOUR | | |
| | PR FLOW ARROW | | |
| | PR SURFACE SLOPE | | |
| | PR SPOT ELEVATION | | |
| | PR FLUSH CURB ELEVATION (0\"/> | | |

- NOTES**
- ALL SPOT ELEVATIONS PROVIDED ARE AT THE EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
 - ADD 0.5' TO PAVEMENT SPOT TO DETERMINE TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN ESTABLISHING ALL GRADES AND SLOPES IN PAVEMENT AREAS, RAMPS AND SIDEWALKS IN THE VICINITY OF HANDICAP PARKING. ACCESS AREAS SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES. SLOPES NOT TO EXCEED 2% IN ANY DIRECTION.
 - THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE IN ALL AREAS. PAVEMENT SHALL BE TESTED FOR ANY PONDING CONDITIONS FOLLOWING CONSTRUCTION.
 - CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. COORDINATE ANY RELOCATION WITH RESPECTIVE UTILITY OWNER.



| | | | | |
|---|-----------------------------------|----------------|-----------|---------------------------------------|
| 1181 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215 TEL: 614-444-1422 FAX: 614-444-1422 | NO. 1 | DATE 4/25/2019 | BY M/M | DESCRIPTION CITY OF FARMINGTON REVIEW |
| | PROJECT NO. 4/25/2019 C5530029 | DES R/T | DRAWN BY: | CHECKED BY: |
| | | | | |
| PRELIMINARY GRADING PLAN BURGER KING 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336 | | | | |
| PRELIMINARY GRADING PLAN C300 | | | | |

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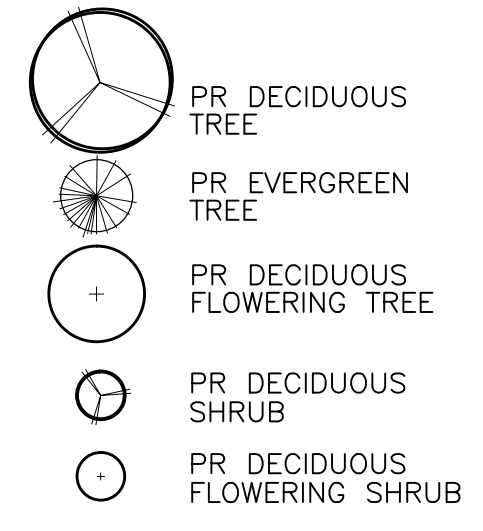


LANDSCAPE PLANT LIST

| ABRV. | QTY | SCIENTIFIC NAME | COMMON NAME | SIZE | REMARKS |
|-------|-----|-----------------------------------|------------------------|-------------|---------|
| GTI | 2 | GLEDTISIA TRI. INERMIS 'IMPERIAL' | IMPERIAL HONEY LOCUST | 2-1/2" CAL. | B&B |
| NST | 1 | NYSSA SYLVATICA 'TUPELO TOWER' | TUPELO TOWER BLACK GUM | 2-1/2" CAL. | B&B |
| TON | 4 | THUJA OCCIDENTALIS 'NIGRA' | NIGRA ARBORVITAE | 6' HT | B&B |
| PO | 3 | PICEA OMORIKA | SERBIAN SPRUCE | 6' HT | B&B |

| ABRV. | QTY | SCIENTIFIC NAME | COMMON NAME | SIZE | REMARKS |
|-------|-----|-----------------------------------|------------------------------|-----------|--------------|
| HFF | 11 | HOSTA FURTUNEII 'FRANCEE' | FRANCEE HOSTA | 2 GALLON | CONTAINER |
| HSO | 16 | HEMORCALLIS SP 'STELLA D'ORO' | STELLA D'ORO DAYLILY | 2 GALLON | CONTAINER |
| EAO | 5 | EUONYMUS ALATUS 'ODOM' | LITTLE MOSES BURNING BUSH | 30" HT. | B&B |
| FGM | 8 | FOTHERGILLA GARDENII 'MOUNT AIRY' | MOUNT AIRY DWARF FOTHERGILLA | 2 GALLON | CONTAINER |
| RAG | 19 | RIBES ALPINUM 'GREEN MOUND' | GREEN MOUND ALPINE CURRANT | 24" HT. | B&B |
| PAH | 16 | PENNISETUM ALOPECUROIDES 'HAMELN' | DWARF FOUNTAIN GRASS | 2 GALLON | CONTAINER |
| SMP | 10 | SYRINGA MEYERI 'PALIBINANA' | DWARF KOREAN LILAC | 36" HT. | B&B |
| VPS | 5 | VIBURNUM PLICATUM TOM. 'SHASTA' | SHASTA DOUBLEFILED VIBURNUM | 36" HT. | B&B (SHRUB) |
| BSG | 28 | BUXUS X SEMPERVIRENS 'GREEN GEM' | GREEN GEM BOXWOOD | 18" SPRD. | B&B (EVGRN.) |
| TMW | 21 | TAXUS MEDIA 'WARDII' | WARDS JAPANESE YEW | 18" SPRD. | B&B |

LEGEND



LANDSCAPE IRRIGATION SYSTEM NOTES

LANDSCAPE CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF A LANDSCAPE IRRIGATION SYSTEM WITH COVERS THE ENTIRE SITE PROPERTY. LAWNS, TREES AND LANDSCAPE BEDS SHALL BE IRRIGATED ON SEPARATE ZONES. IRRIGATION SYSTEM SHALL INCLUDE A SMART ELECTRONIC CONTROLLER WITH WEATHER SENSOR, RAIN DELAY SEASONAL ADJUST AND WATER BUDGET FEATURES. A SEPARATE IRRIGATION METER AND BACKFLOW PREVENTOR PER CITY REQUIREMENTS AND ANY PERMITS SHALL BE INCLUDED. PROVIDE COMPLETE IRRIGATION DESIGN DRAWINGS AND SPECS FOR OWNER REVIEW PRIOR TO INSTALLATION. A COMPLETE SINGLE SOURCE IRRIGATION SYSTEM FROM HUNTER, RAINBIRD AND TORO WILL ONLY BE ACCEPTED.

LANDSCAPE PLANTING NOTES

TOPSOIL
LANDSCAPE CONTRACTOR TO PROVIDE 4" OF TOPSOIL IN LAWN AREAS AND 12" OF TOPSOIL IN LANDSCAPE BED AREAS.

MULCH
LANDSCAPE CONTRACTOR TO PROVIDE 3" OF DOUBLE PROCESSED SHREDDED MULCH AROUND ALL PLANTS AND IN LANDSCAPE BEDS.

METAL EDGING
LANDSCAPE CONTRACTOR TO PROVIDE 1/8" X 4" PERMALOC (OR APPROVED EQUAL) ALUMINUM METAL LANDSCAPE BED EDGING AROUND ALL INDIVIDUAL PLANTS AND LANDSCAPE BEDS NOT ADJACENT CURB OR PAVEMENT.

LANDSCAPE REQUIREMENTS

INCENTIVES FOR PRESERVING EXISTING VEGETATION (ART. 15 SEC. 35-183.C)
CREDIT FOR TREE PRESERVATION SHALL BE APPLIED AT THE FOLLOWING RATE:
GREATER THAN 12 INCHES: TWO (2) TREES.
LESS THAN 11.9 INCHES: ONE (1) TREE.
PROVIDED: COUNT (2) EX. 18" CRIMSON KING MAPLE ADJACENT OR IN GREENBELT FOR GRANDRIVER FRONTAGE GREENBELT TREES.
PROVIDED: COUNT (1) EX. 18" CRIMSON KING MAPLE & (1) EX. CALERY PEAR ALONG FOR LAKE WAY FRONTAGE GREENBELT TREES.

INTERIOR LANDSCAPE (ART. 15 SEC. 35-184.A)
ALL AREAS NOT COVERED BY BUILDINGS, PARKING AREAS, DRIVEWAYS, PEDESTRIAN PATHWAYS AND OTHER PEDESTRIAN IMPERVIOUS SURFACES, SIGNS, WATER SURFACES AND ESSENTIAL SERVICES SHALL INCLUDE ONLY LIVING PLANT MATERIAL AND PLANTING BEDS. PROVIDED: INTERIOR LANDSCAPING AS SHOWN.

FRONTAGE LANDSCAPE (ART. 15 SEC. 35-184.B)
THE WIDTH OF THE GREENBELT BETWEEN THE PARKING LOT AND THE RIGHT-OF-WAY SHALL BE EQUAL TO AT LEAST TEN (10) FEET. THE GREENBELT SHALL CONTAIN A MINIMUM OF ONE (1) CANOPY TREE AND SIX (6) SHRUBS PER THIRTY (30) LINEAR FEET, OR FRACTION THEREOF, OF ROAD FRONTAGE INCLUDING ANY OPENINGS FOR DRIVEWAYS, PATHWAYS OR EASEMENTS. A HEDGEROW WITH UPRIGHT SHRUBS PLANTED FOUR (4) FEET TO FIVE (5) FEET ON CENTER ALONG THE ENTIRE ROAD FRONTAGE MAY ALSO BE UTILIZED. ORNAMENTAL TREES MAY BE USED TO DIVERSIFY GREENBELT PLANTING REQUIREMENTS, PROVIDED TWO (2) ORNAMENTAL TREES SHALL BE PROVIDED FOR EACH ONE (1) REQUIRED CANOPY TREE.
REQUIRED (GRANDRIVER AVENUE): 65' PARKING LOT FRONTAGE = 3 TREES + 18 SHRUBS. PROVIDED: (5) EX (18") TREES = (4) REQUIRED + 18 SHRUBS.
REQUIRED (LAKE WAY): 183' PARKING LOT FRONTAGE = 7 TREES + 42 SHRUBS. PROVIDED: (2) EX. TREES = 4 REQUIRES + 3 DECIDUOUS TREES + 3 EVERGREEN TREES + 37 SHRUBS.

BUFFER ZONES (ART. 15 SEC. 35-184.C)
A BUFFER SHALL BE PROVIDED BETWEEN THE SUBJECT SITE AND ALL ADJACENT PROPERTIES AS FOLLOWS:
1. MULTIPLE-FAMILY DISTRICT OR USE ADJACENT TO SINGLE-FAMILY RESIDENTIAL DISTRICT OR USE
2. INSTITUTIONAL USES ADJACENT TO ANY RESIDENTIAL DISTRICT OR USE
3. COMMERCIAL AND OFFICE DISTRICT OR USE ADJACENT TO ANY RESIDENTIAL DISTRICT OR USE.
REQUIRED: 4' WALL AND LANDSCAPING ALONG NORTH PROPERTY LINE. PROVIDED: 4' WALL AND LANDSCAPING ALONG NORTH CURB LINE AS SHOWN.

WASTE RECEPTACLES, MECH. EQUIP. AND UTIL. SCREENING (ART. 15 SEC. 35-184.F)
NECESSARY SITE ELEMENTS SUCH AS WASTE RECEPTACLES AND GROUND-MOUNTED AND BUILDING-MOUNTED MECHANICAL EQUIPMENT SUCH AS AIR CONDITIONER UNITS, UTILITY BOXES AND OTHER SIMILAR COMPONENTS SHALL BE APPROPRIATELY SCREENED WITH PLANT MATERIAL WHERE APPROPRIATE AS DETERMINED BY THE PLANNING COMMISSION OR BUILDING OFFICIAL. SCREENS SHALL INCLUDE A WALL, WOOD FENCING OR COMBINATION OF PLANTINGS OF SUFFICIENT HEIGHT, LENGTH, AND OPACITY TO FORM A VISUAL BARRIER. IF THE SCREEN IS COMPOSED OF NONLIVING MATERIAL, SUCH MATERIAL SHALL BE COMPATIBLE WITH MATERIALS USED IN CONSTRUCTION OF THE MAIN BUILDING, BUT IN NO CASE SHALL INCLUDE WIRE FENCING.
PROVIDED:

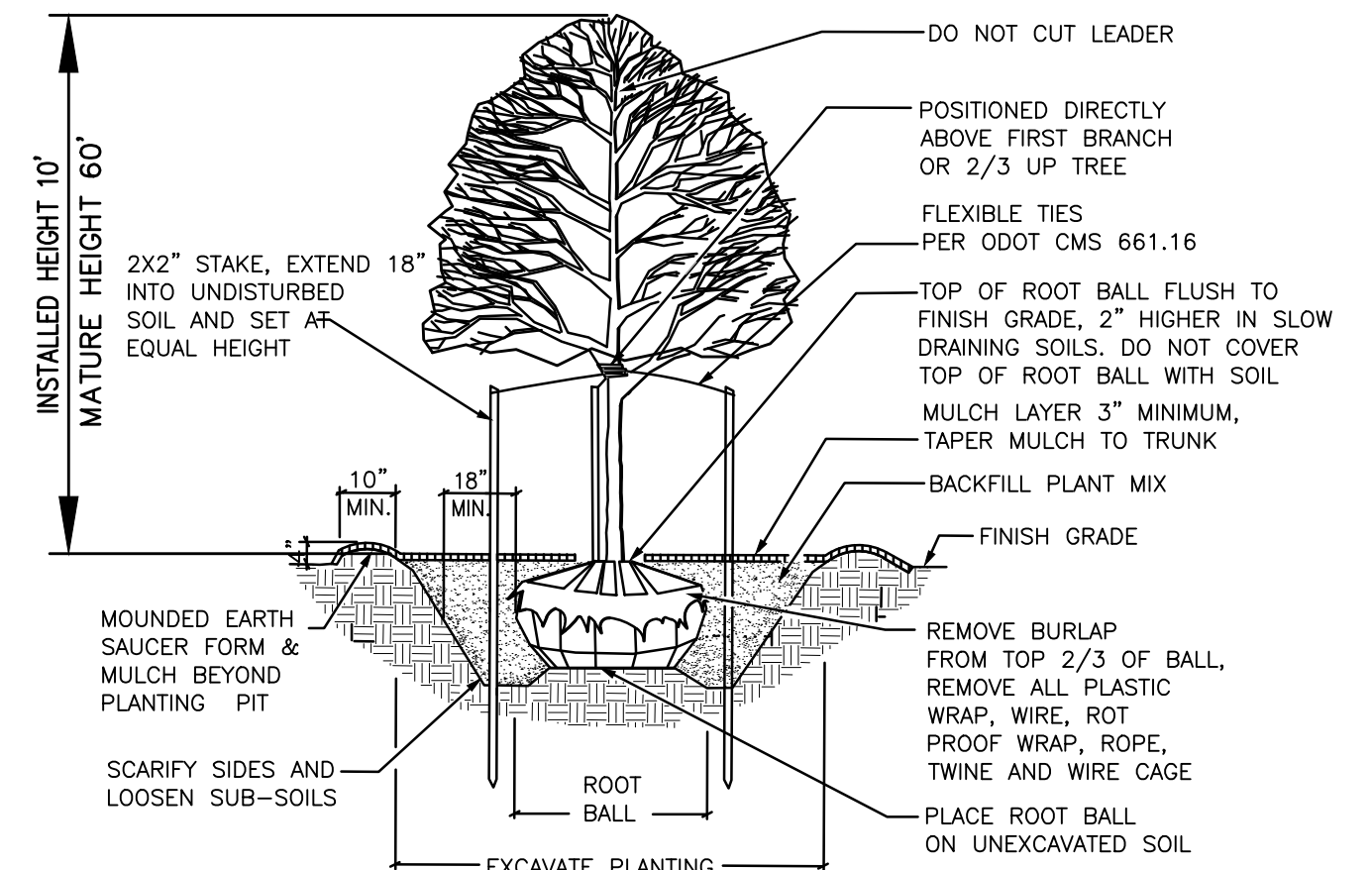
MINIMUM SIZES AND SPACING (ART. 15 SEC. 35-185.B)
PROVIDE MINIMUM SIZES AND SPACES PER TABLE FOR SCREENING LANDSCAPE PLANTS AND TREES.
PROVIDED:

MIXING OF SPECIES (ART. 15 SEC. 35-185.C)
THE OVERALL LANDSCAPE PLAN SHALL NOT CONTAIN MORE THAN THIRTY-THREE (33) PERCENT OF ANY ONE (1) PLANT SPECIES. THE USE OF NATIVE SPECIES AND MIXTURE OF TREES FROM THE SAME SPECIES ASSOCIATION IS STRONGLY ENCOURAGED.
PROVIDED: AS REQUIRED.

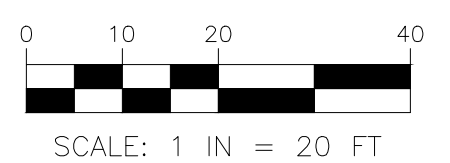
PLANTING BEDS (ART. 15 SEC. 35-185.E)
BARK USED AS MULCH SHALL BE MAINTAINED AT A MINIMUM OF TWO (2) INCHES DEEP. PLANTING BEDS SHALL BE EDGED WITH EITHER PLASTIC OR METAL EDGING IN RESIDENTIAL DISTRICTS AND METAL EDGING IN ALL OTHER ZONING DISTRICTS.
PROVIDED: SEE LANDSCAPE NOTES ABOVE.

TOPSOIL (ART. 15 SEC. 35-185.F)
TOPSOIL SHALL CONSIST OF A FOUR-INCH BASE FOR LAWN AREAS AND AN EIGHT-INCH TO TWELVE-INCH BASE WITHIN PLANTING BEDS.
PROVIDED: SEE LANDSCAPE NOTES ABOVE.

IRRIGATION (ART. 15 SEC. 35-186.C)
ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND IRRIGATION SYSTEM. ALTERNATE MEANS OF IRRIGATION THAT REDUCE POTABLE WATER CONSUMPTION FOR IRRIGATION SHALL BE PERMITTED SUCH AS CAPTURED RAINWATER OR RECYCLED WASTEWATER.
PROVIDED: SEE LANDSCAPE IRRIGATION SYSTEM NOTES ABOVE.



DECIDUOUS TREE PLANTING DETAIL



PRELIMINARY NOT FOR CONSTRUCTION
 CITY OF FARMINGTON REVIEW
 DATE: 4/25/2019
 NO. 1
 DESCRIPTION: 1160 DUBLIN ROAD, SUITE 100, COLUMBUS, OH 43215
 PROJECT NO.: 42952019
 DRAWN BY: C5580029
 CHECKED BY: DES RUT
 TECHNICAL SKILL: CREATIVE SPIRIT!
Mannik Smith Group
 www.MannikSmithGroup.com
 PREPARED FOR: CARROLS CORPORATION
 888 JAMES STREET, STROCUSE, NY 13203
 DEVELOPMENT PLAN FOR: BURGER KING
 31806 GRAND RIVER AVENUE, FARMINGTON, MICHIGAN 48336
LANDSCAPE PLAN
 L100

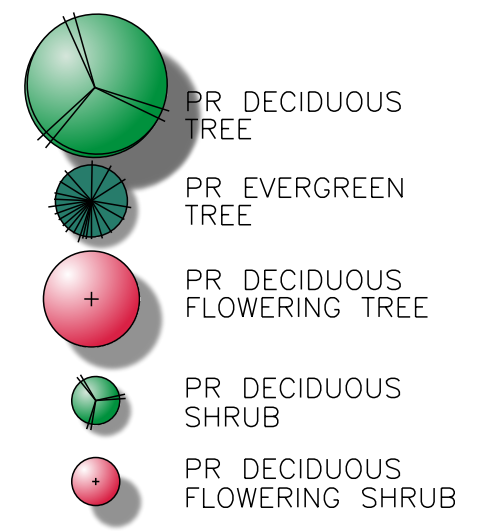


LANDSCAPE PLANT LIST

| ABRV. | QTY | SCIENTIFIC NAME | COMMON NAME | SIZE | REMARKS |
|-------|-----|-----------------------------------|------------------------|-------------|---------|
| GTI | 2 | GLEDITSIA TRI. INERMIS 'IMPERIAL' | IMPERIAL HONEY LOCUST | 2-1/2" CAL. | B&B |
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| PO | 3 | PICEA OMORIKA | SERBIAN SPRUCE | 6' HT' | B&B |

| ABRV. | QTY | SCIENTIFIC NAME | COMMON NAME | SIZE | REMARKS |
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| HSO | 16 | HEMORCALLIS SP 'STELLA D'ORO' | STELLA D'ORO DAYLILY | 2 GALLON | CONTAINER |
| EAO | 5 | EUONYMUS ALATUS 'ODOM' | LITTLE MOSES BURNING BUSH | 30" HT. | B&B |
| FGM | 8 | FOTHERGILLA GARDENII 'MOUNT AIRY' | MOUNT AIRY DWARF FOTHERGILLA | 2 GALLON | CONTAINER |
| RAG | 19 | RIBES ALPNUM 'GREEN MOUND' | GREEN MOUND ALPINE CURRANT | 24" HT. | B&B |
| PAH | 16 | PENNISETUM ALOPECUROIDES 'HAMELN' | DWARF FOUNTAIN GRASS | 2 GALLON | CONTAINER |
| SMP | 10 | SYRINGA MEYERI 'PALIBINIANA' | DWARF KOREAN LILAC | 36" HT. | B&B |
| VPS | 5 | VIBURNUM PLICATUM 'TOM. SHASTA' | SHASTA DOUBLEFILE VIBURNUM | 36" HT. | B&B (SHRUB) |
| BSG | 28 | BUXUS X SEMPERVIRENS 'GREEN GEM' | GREEN GEM BOXWOOD | 18" SPRD. | B&B (EVGRN.) |
| TMW | 21 | TAXUS MEDIA 'WARDII' | WARDS JAPANESE YEW | 18" SPRD. | B&B |

LEGEND



LANDSCAPE IRRIGATION SYSTEM NOTES

LANDSCAPE CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF A LANDSCAPE IRRIGATION SYSTEM WITH COVERS THE ENTIRE SITE PROPERTY. LAWNS, TREES AND LANDSCAPE BEDS SHALL BE IRRIGATED ON SEPARATE ZONES. IRRIGATION SYSTEM SHALL INCLUDE A SMART ELECTRONIC CONTROLLER WITH WEATHER SENSOR, RAIN DELAY SEASONAL ADJUST AND WATER BUDGET FEATURES. A SEPARATE IRRIGATION METER AND BACKFLOW PREVENTOR PER CITY REQUIREMENTS AND ANY PERMITS SHALL BE INCLUDED. PROVIDE COMPLETE IRRIGATION DESIGN DRAWINGS AND SPECS FOR OWNER REVIEW PRIOR TO INSTALLATION. A COMPLETE SINGLE SOURCE IRRIGATION SYSTEM FROM HUNTER, RAINBIRD AND TORO WILL ONLY BE ACCEPTED.

LANDSCAPE PLANTING NOTES

TOPSOIL
LANDSCAPE CONTRACTOR TO PROVIDE 4" OF TOPSOIL IN LAWN AREAS AND 12" OF TOPSOIL IN LANDSCAPE BED AREAS.

MULCH
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METAL EDGING
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LANDSCAPE REQUIREMENTS

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GREATER THAN 12 INCHES: TWO (2) TREES.
LESS THAN 11.9 INCHES: ONE (1) TREE.
PROVIDED: COUNT (2) EX. 18" CRIMSON KING MAPLE ADJACENT OR IN GREENBELT FOR GRANDRIVER FRONTAGE GREENBELT TREES.
PROVIDED: COUNT (1) EX. 18" CRIMSON KING MAPLE & (1) EX. CALERY PEAR ALONG FOR LAKE WAY FRONTAGE GREENBELT TREES.

INTERIOR LANDSCAPE (ART. 15 SEC. 35-184.A)
ALL AREAS NOT COVERED BY BUILDINGS, PARKING AREAS, DRIVEWAYS, PEDESTRIAN PATHWAYS AND OTHER PEDESTRIAN IMPERVIOUS SURFACES, SIGNS, WATER SURFACES AND ESSENTIAL SERVICES SHALL INCLUDE ONLY LIVING PLANT MATERIAL AND PLANTING BEDS.
PROVIDED: INTERIOR LANDSCAPING AS SHOWN.

FRONTAGE LANDSCAPE (ART. 15 SEC. 35-184.B)
THE WIDTH OF THE GREENBELT BETWEEN THE PARKING LOT AND THE RIGHT-OF-WAY SHALL BE EQUAL TO AT LEAST TEN (10) FEET. THE GREENBELT SHALL CONTAIN A MINIMUM OF ONE (1) CANOPY TREE AND SIX (6) SHRUBS PER THIRTY (30) LINEAR FEET, OR FRACTION THEREOF, OF ROAD FRONTAGE INCLUDING ANY OPENINGS FOR DRIVEWAYS, PATHWAYS OR EASEMENTS. A HEDGEROW WITH UPRIGHT SHRUBS PLANTED FOUR (4) FEET TO FIVE (5) FEET ON CENTER ALONG THE ENTIRE ROAD FRONTAGE MAY ALSO BE UTILIZED. ORNAMENTAL TREES MAY BE USED TO DIVERSIFY GREENBELT PLANTING REQUIREMENTS, PROVIDED TWO (2) ORNAMENTAL TREES SHALL BE PROVIDED FOR EACH ONE (1) REQUIRED CANOPY TREE.
REQUIRED (GRANDRIVER AVENUE): 65' PARKING LOT FRONTAGE = 3 TREES + 18 SHRUBS. PROVIDED: (5) EX (18") TREES = (4) REQUIRED + 18 SHRUBS.
REQUIRED (LAKE WAY): 183' PARKING LOT FRONTAGE = 7 TREES + 42 SHRUBS. PROVIDED: (2) EX. TREES = 4 REQUIRES + 3 DECIDUOUS TREES + 3 EVERGREEN TREES + 37 SHRUBS.

BUFFER ZONES (ART. 15 SEC. 35-184.C)
A BUFFER SHALL BE PROVIDED BETWEEN THE SUBJECT SITE AND ALL ADJACENT PROPERTIES AS FOLLOWS:
1. MULTIPLE-FAMILY DISTRICT OR USE ADJACENT TO SINGLE-FAMILY RESIDENTIAL DISTRICT OR USE
2. INSTITUTIONAL USES ADJACENT TO ANY RESIDENTIAL DISTRICT OR USE
3. COMMERCIAL AND OFFICE DISTRICT OR USE ADJACENT TO ANY RESIDENTIAL DISTRICT OR USE.
REQUIRED: 4' WALL AND LANDSCAPING ALONG NORTH PROPERTY LINE. PROVIDED: 4' WALL AND LANDSCAPING ALONG NORTH CURB LINE AS SHOWN.

WASTE RECEPTACLES, MECH. EQUIP. AND UTIL. SCREENING (ART. 15 SEC. 35-184.F)
NECESSARY SITE ELEMENTS SUCH AS WASTE RECEPTACLES AND GROUND-MOUNTED AND BUILDING-MOUNTED MECHANICAL EQUIPMENT SUCH AS AIR CONDITIONER UNITS, UTILITY BOXES AND OTHER SIMILAR COMPONENTS SHALL BE APPROPRIATELY SCREENED WITH PLANT MATERIAL WHERE APPROPRIATE AS DETERMINED BY THE PLANNING COMMISSION OR BUILDING OFFICIAL. SCREENS SHALL INCLUDE A WALL, WOOD FENCING OR COMBINATION OF PLANTINGS OF SUFFICIENT HEIGHT, LENGTH, AND OPACITY TO FORM A VISUAL BARRIER. IF THE SCREEN IS COMPOSED OF NONLIVING MATERIAL, SUCH MATERIAL SHALL BE COMPATIBLE WITH MATERIALS USED IN CONSTRUCTION OF THE MAIN BUILDING, BUT IN NO CASE SHALL INCLUDE WIRE FENCING.
PROVIDED:

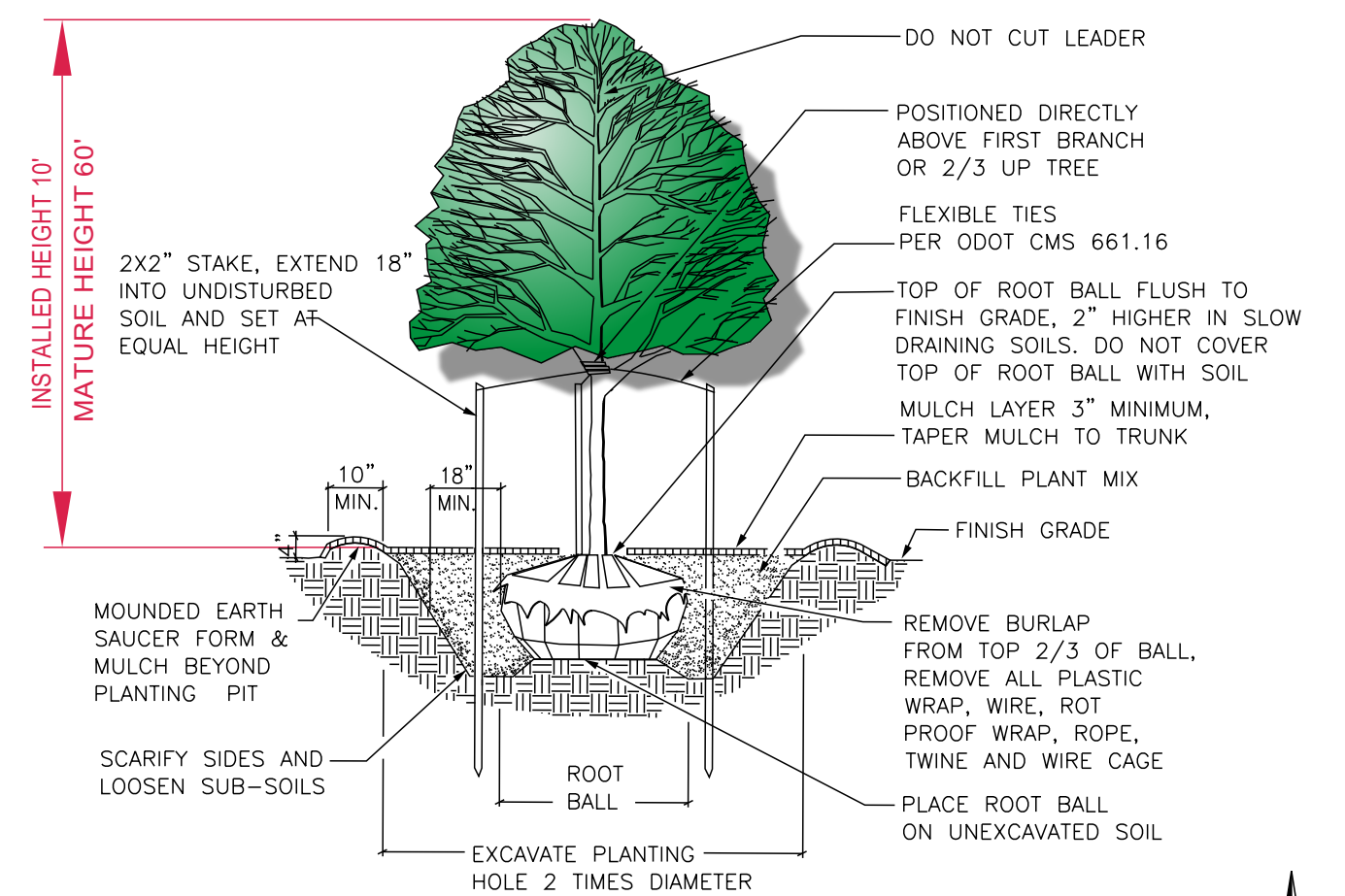
MINIMUM SIZES AND SPACING (ART. 15 SEC. 35-185.B)
PROVIDE MINIMUM SIZES AND SPACES PER TABLE FOR SCREENING LANDSCAPE PLANTS AND TREES.
PROVIDED:

MIXING OF SPECIES (ART. 15 SEC. 35-185.C)
THE OVERALL LANDSCAPE PLAN SHALL NOT CONTAIN MORE THAN THIRTY-THREE (33) PERCENT OF ANY ONE (1) PLANT SPECIES. THE USE OF NATIVE SPECIES AND MIXTURE OF TREES FROM THE SAME SPECIES ASSOCIATION IS STRONGLY ENCOURAGED.
PROVIDED: AS REQUIRED.

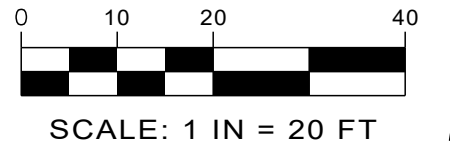
PLANTING BEDS (ART. 15 SEC. 35-185.E)
BARK USED AS MULCH SHALL BE MAINTAINED AT A MINIMUM OF TWO (2) INCHES DEEP. PLANTING BEDS SHALL BE EDGED WITH EITHER PLASTIC OR METAL EDGING IN RESIDENTIAL DISTRICTS AND METAL EDGING IN ALL OTHER ZONING DISTRICTS.
PROVIDED: SEE LANDSCAPE NOTES ABOVE.

TOPSOIL (ART. 15 SEC. 35-185.F)
TOPSOIL SHALL CONSIST OF A FOUR-INCH BASE FOR LAWN AREAS AND AN EIGHT-INCH TO TWELVE-INCH BASE WITHIN PLANTING BEDS.
PROVIDED: SEE LANDSCAPE NOTES ABOVE.

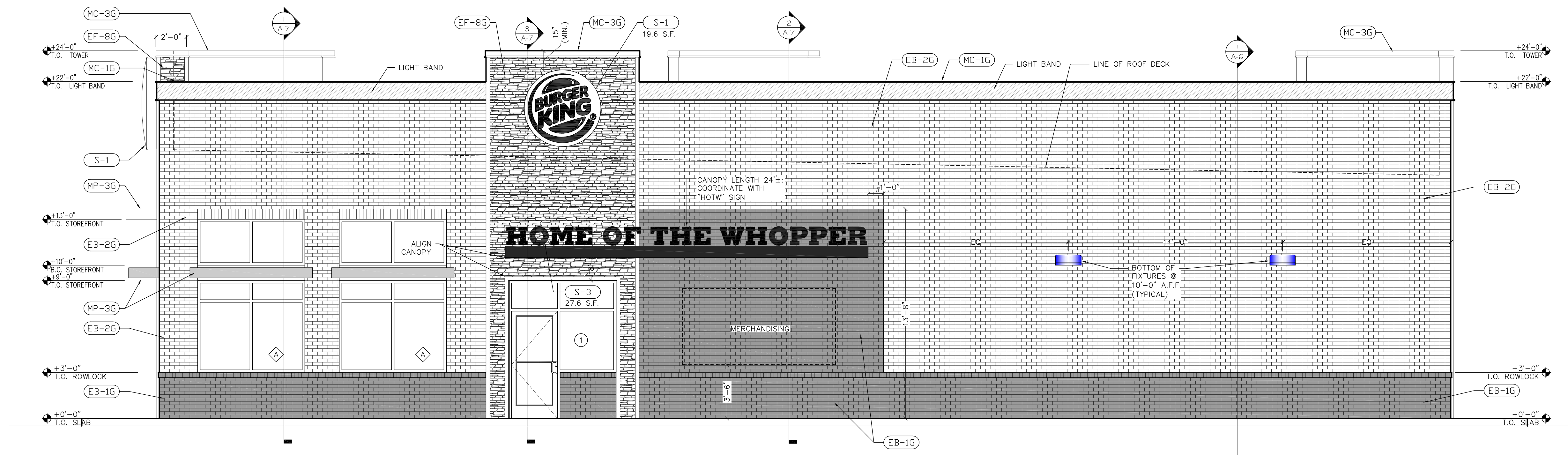
IRRIGATION (ART. 15 SEC. 35-186.C)
ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN UNDERGROUND IRRIGATION SYSTEM. ALTERNATE MEANS OF IRRIGATION THAT REDUCE POTABLE WATER CONSUMPTION FOR IRRIGATION SHALL BE PERMITTED SUCH AS CAPTURED RAINWATER OR RECYCLED WASTEWATER.
PROVIDED: SEE LANDSCAPE IRRIGATION SYSTEM NOTES ABOVE.



DECIDUOUS TREE PLANTING DETAIL

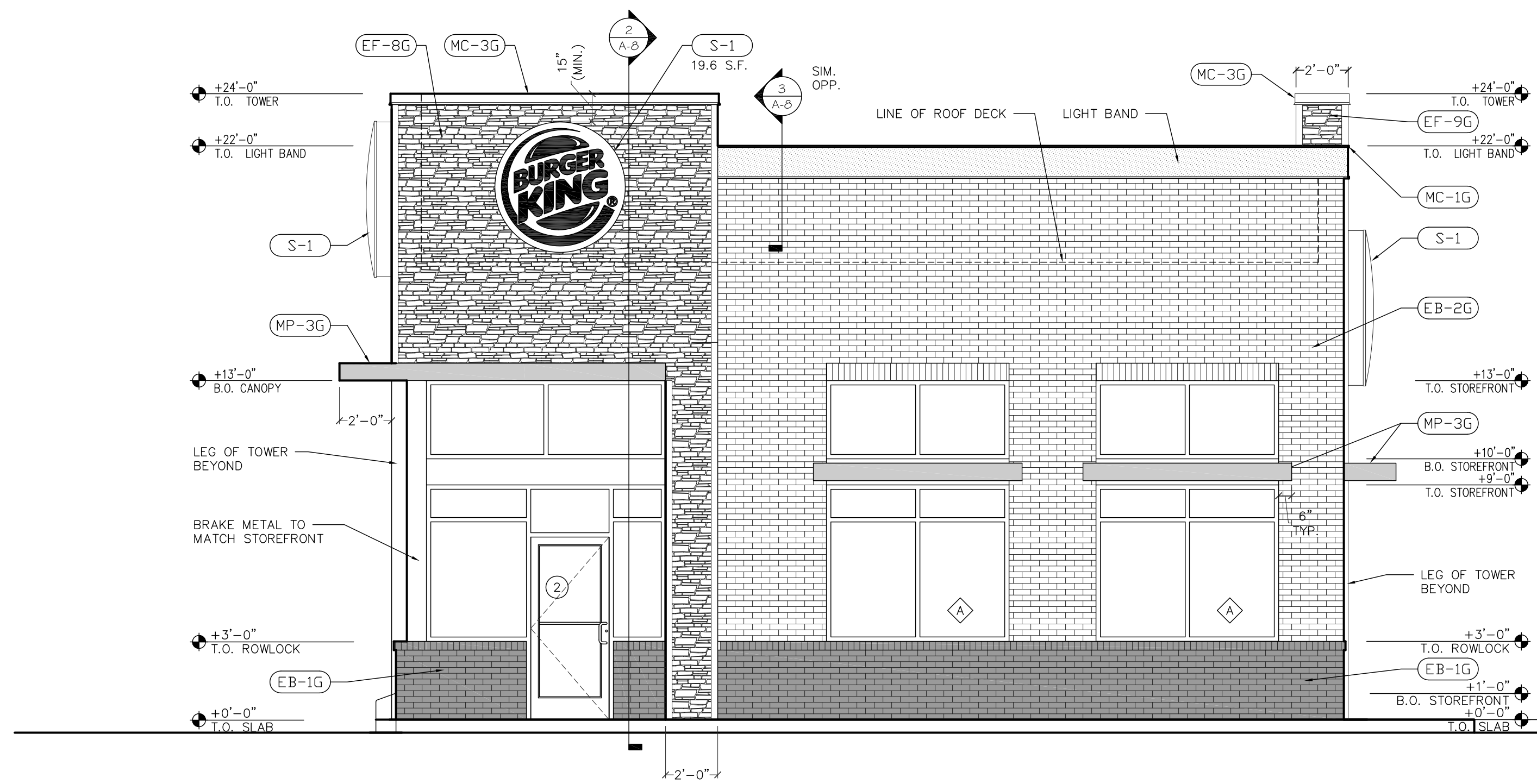


DEVELOPMENT PLAN FOR **BURGER KING** LANDSCAPE PLAN L100
 PREPARED FOR **CARROLLS CORPORATION**
 988 JAMES STREET SYRACUSE, NY 13203
 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336
 PROJECT NO. C5530029
 DRAWN BY: DES
 CHECKED BY: RUT
 PROJECT DATE: 4/25/2019
 CITY OF FARMINGTON REVIEW
 BY: MAM
 DATE: 4/25/2019
 NO. 1
 DESCRIPTION: 1160 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215 TEL: 614.441.4222 FAX: 688.4687340
PRELIMINARY NOT FOR CONSTRUCTION
 TECHNICAL SKILL: CREATIVE SPIRIT.
Mannik Smith GROUP
 www.MannikSmithGroup.com



1 MAIN ENTRANCE ELEVATION

SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



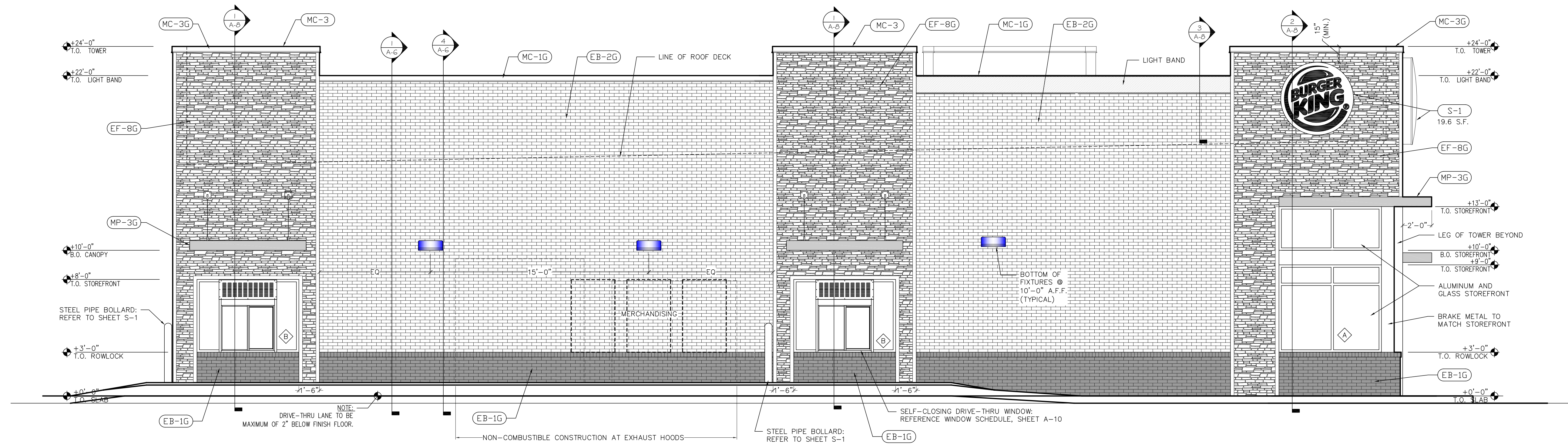
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| PROJECT # | 1900XXXX |
| PROJ. TALL | 20/20 |
| IMAGE | NOVEMBER 2018 DESIGN RELEASE |
| ADDRESS | TBD |
| FRANCHISEE | BURGER KING # TBD |
| DATE | FARMINGTON, MICHIGAN |
| NO. | |
| DATE | |
| DRAWN BY | DHW |
| CHECKED BY | SAC |
| REVISION | |
| DATE | XX-XX-2019 |

968 INHES STREET
 STRONGS, MI 48883
 O :: 315 . 424 . 0613
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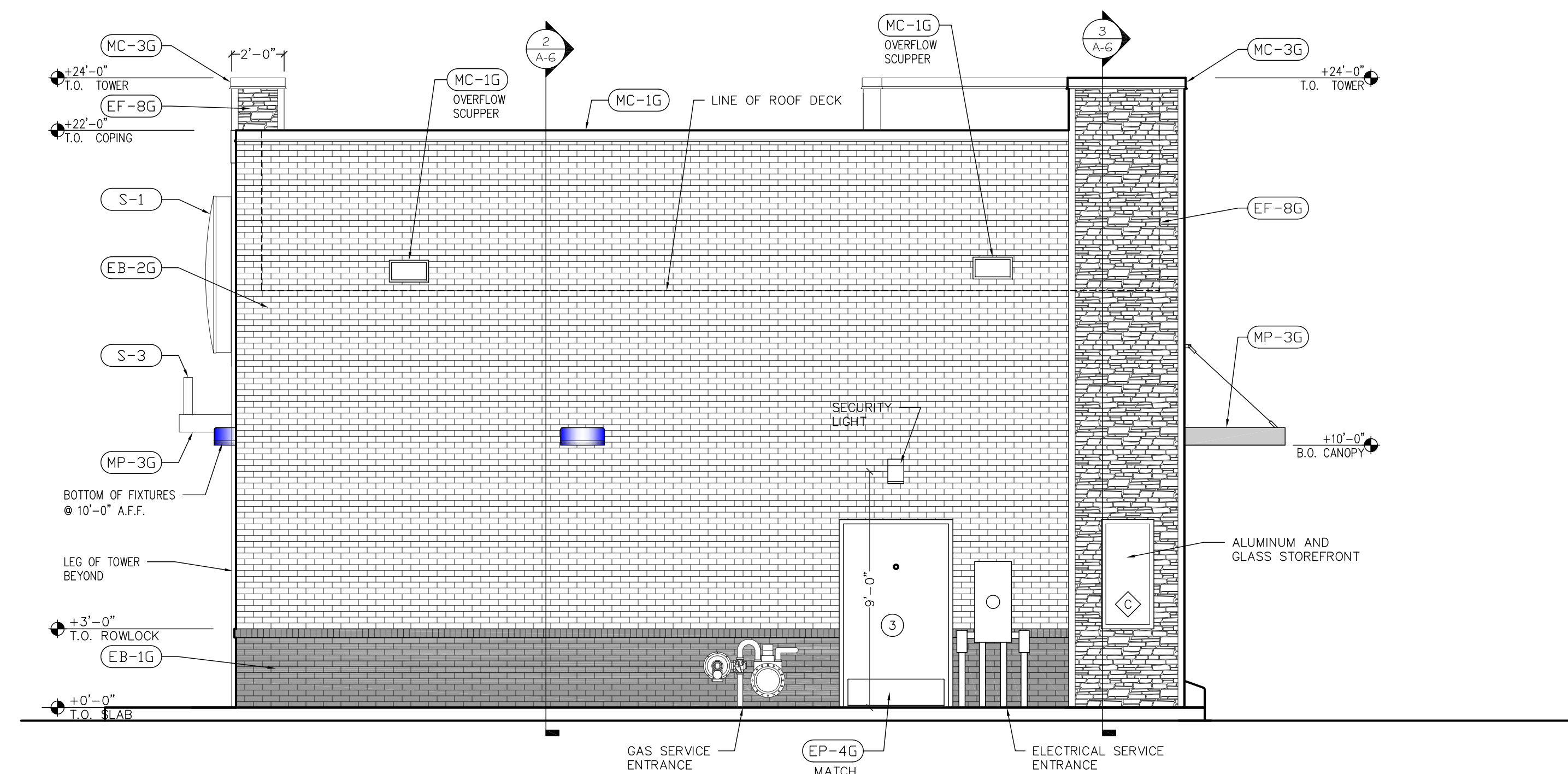
CURRAN
 ARCHITECTURE
 5719 LAWTON LOOP E. DR. #212
 INDIANAPOLIS, IN 46216
 O :: 317 . 288 . 0681
 F :: 317 . 288 . 0753



EXTERIOR ELEVATIONS



2 DRIVE THRU ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"

| | |
|---|-------------------|
| PROJECT # : 1900XXX | DATE : XX-XX-2019 |
| ROC-60 TALL 20/20 IMAGE: NOVEMBER 2018 DESIGN RELEASE | CHECKED BY: SMC |
| BURGER KING # TBD | REVISION |
| ADDRESS TBD | NO. DATE |
| FARMINGTON, MICHIGAN | |

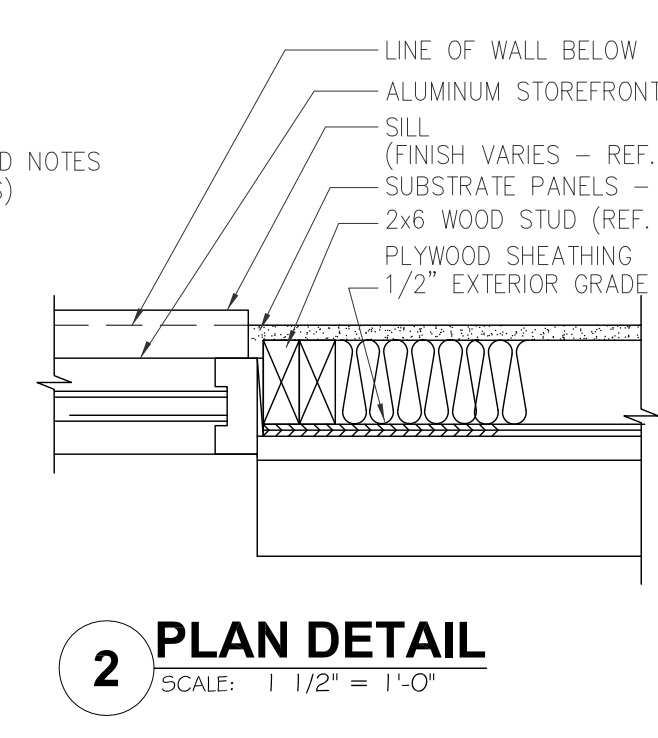
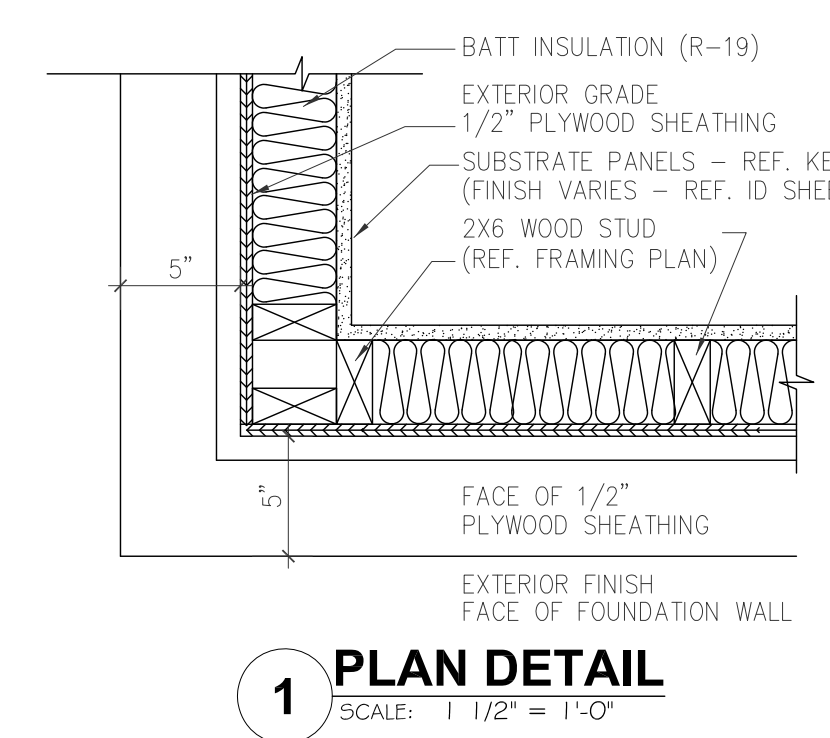
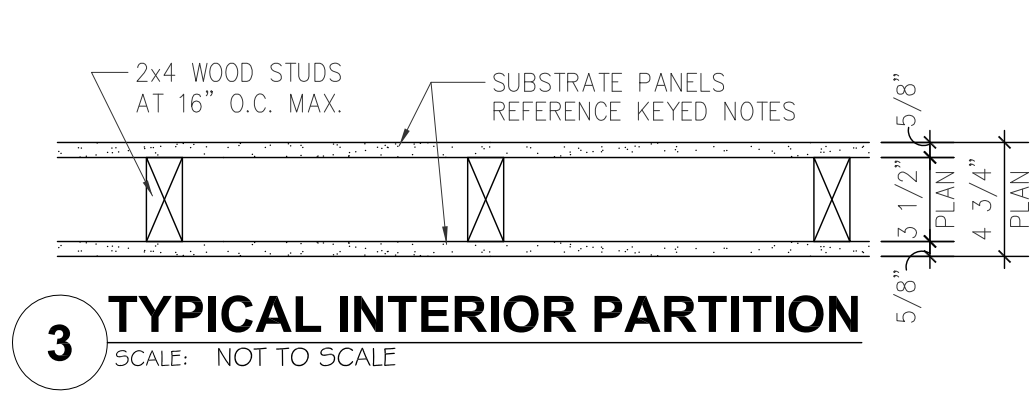
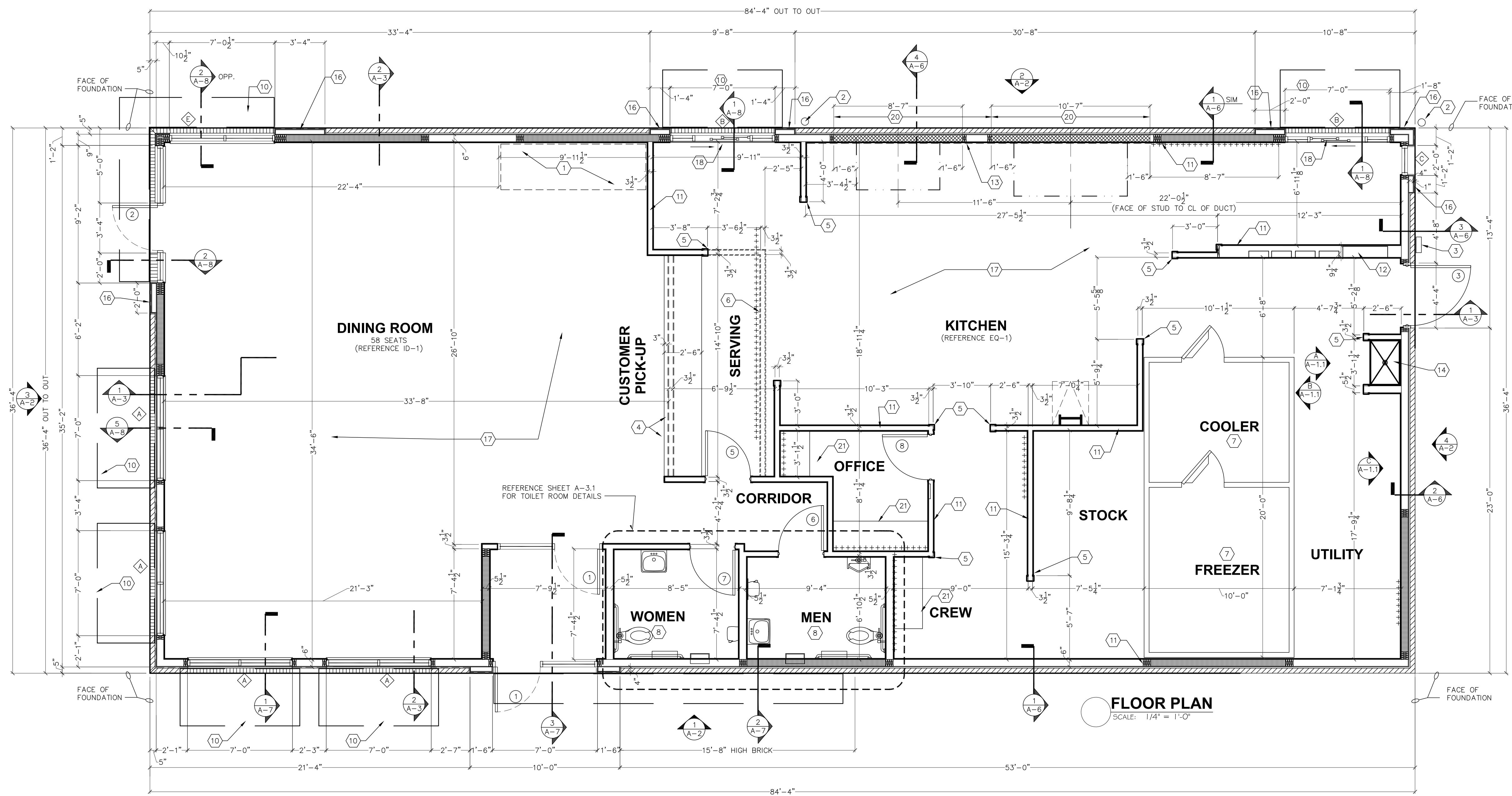
FRANCHISEE:

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F : 770 . 456 . 5338

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ARCHITECTURE
5719 LAWTON LOOP E. DR. #212
INDIANAPOLIS, IN 46216
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F :: 317 . 288 . 0753



EXTERIOR ELEVATIONS



GENERAL NOTES:

- A. EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO STUD.
- B. OVERALL DIMENSIONS TO EXTERIOR WALLS ARE THE SAME AS TO THE OUTSIDE FACE OF FOUNDATION WALL BELOW.
- C. ALL ANGLED WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
- D. FIRE EXTINGUISHER, SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- E. ELEVATION OF DRIVE-THROUGH LANE 2" (MAXIMUM) BELOW FINISH FLOOR ELEVATION. DRIVE-THROUGH LANE AT SAME ELEVATION AS FINISH FLOOR IS PREFERRED. REFERENCE DETAIL #8, SHEET A-1.1

KEYED NOTES:

1. SELF-SERVE DRINKS AND CONDIMENT STAND. REFER TO SHEET EQ-1.
2. STEEL BOLLARD - REFER TO SHEET S-1.
3. ELECTRIC SERVICE - REFER TO ELECTRICAL DRAWINGS.
4. SERVICE COUNTER PARTITION BY G.C. REFER TO DETAILS ON SHEET E-4 FOR ADDITIONAL INFORMATION. COORDINATE COUNTER TOP/FINISHES INSTALLATION RESPONSIBILITIES WITH THE DECOR SUPPLIER. MAXIMUM COUNTER HEIGHT = 32" A.F.F.
5. CORNER GUARDS - REFER TO DETAIL #4, SHEET A-1.1.
6. MENU BOARD BULKHEAD ABOVE. REFER TO DETAIL 1, SHEET A-4.
7. INTERIOR WALK-IN BOX WITH FLOOR ON CONCRETE SLAB. VERIFY SIZE WITH MANUFACTURER. INSTALL ALTRIO STRONGHOLD 30 SAFETY FLOORING.
8. PROVIDE ADDITIONAL BLOCKING IN WALLS BEHIND URINAL SCREEN AND BEHIND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES (TYPICAL).
9. ALL WALLS AT EXPOSED TRUSSES TO BE FRAMED AND FINISHED TO THE ROOF DECK.
10. LINE OF AWNING/CANOPY ABOVE.
11. SUBSTRATE PANELS:
KITCHEN - CREW - RESTROOMS
5/8" USG "DUROCK" PANELS AT FINISH FLOOR TO 24" A.F.F.
5/8" WATER RESISTANT GYPSUM BOARD FROM 24" A.F.F. TO 6" ABOVE FINISHED CEILING.
PROVIDE ALTERNATE BID OF 5/8" USG "FIBEROCK" PANELS IN LIEU OF DUROCK.
DINING ROOM AND CORRIDOR:
5/8" PLYWOOD FROM FINISH FLOOR TO 36" A.F.F.
5/8" TYPE USG "SHEETROCK" GYPSUM WALL BOARD FROM 36" TO 6" ABOVE CEILING.
FINISH: FRP TO 36" A.F.F. AND PAINT ON GYPSUM WALL BOARD.
12. ELECTRICAL PANELS:
RECESS ELECTRICAL CONTACTOR PANEL AND PANELS "A", "B" AND "M" IN FURRED OUT WALL ADJACENT TO EXTERIOR FRAMING. G.C. TO VERIFY PANEL SIZES PRIOR TO FURR-OUT TO INSURE ADEQUATE SPACE.
13. STAINLESS STEEL PANEL BEHIND FRY DUMP, HOODS, CONTINUOUS BETWEEN HOODS AND SUPPLIED BY G.C. AND INSTALL BE G.C. +/- 24'-0"
14. CAN WASH - DUROCK SUBSTRATE ON ALL THREE SIDES, FLOOR TO CEILING.
15. OFFICE WINDOW - REFERENCE SHEET A-10.
16. EXTERIOR FEATURE ELEMENTS - OMIT MASONRY.
17. TILE FLOOR (REFERENCE SPECIFICATIONS ON ID SHEETS).
18. DRIVE-THROUGH WINDOW.
19. ++++++ INDICATES 5/8" PLYWOOD BACKING ON WALLS FOR EQUIPMENT AS INDICATED ON PLAN OR SHELF SUPPORT FROM 48" A.F.F. TO 96" A.F.F., BEHIND 3-COMPARTMENT SINK AND PREP SINK AND ON BULKHEAD AT MENU BOARD WALL FROM 7'-0" A.F.F. TO BOTTOM OF ROOF TRUSSES.
20. USG 5/8" DUROCK (BOTH SIDES) ON 5 1/2", 18 GAUGE CEE STUD FRAMING AT 16" O.C. BEHIND HOOD. WALL TO EXTEND AS SHOWN (18" BEYOND EACH END OF HOOD).
21. COUNTER TOP - REFERENCE DETAIL #6, A-1.1

PROJECT #: 1900XXX
 ROC-60 TALL 20/20 IMAGE: NOVEMBER 2018 DESIGN RELEASE
BURGER KING # TBD
 ADDRESS TBD
 FARMINGTON, MICHIGAN

FRANCHISEE:
CURRAN ARCHITECTURE
 5719 LAWTON LOOP E. DR. #212
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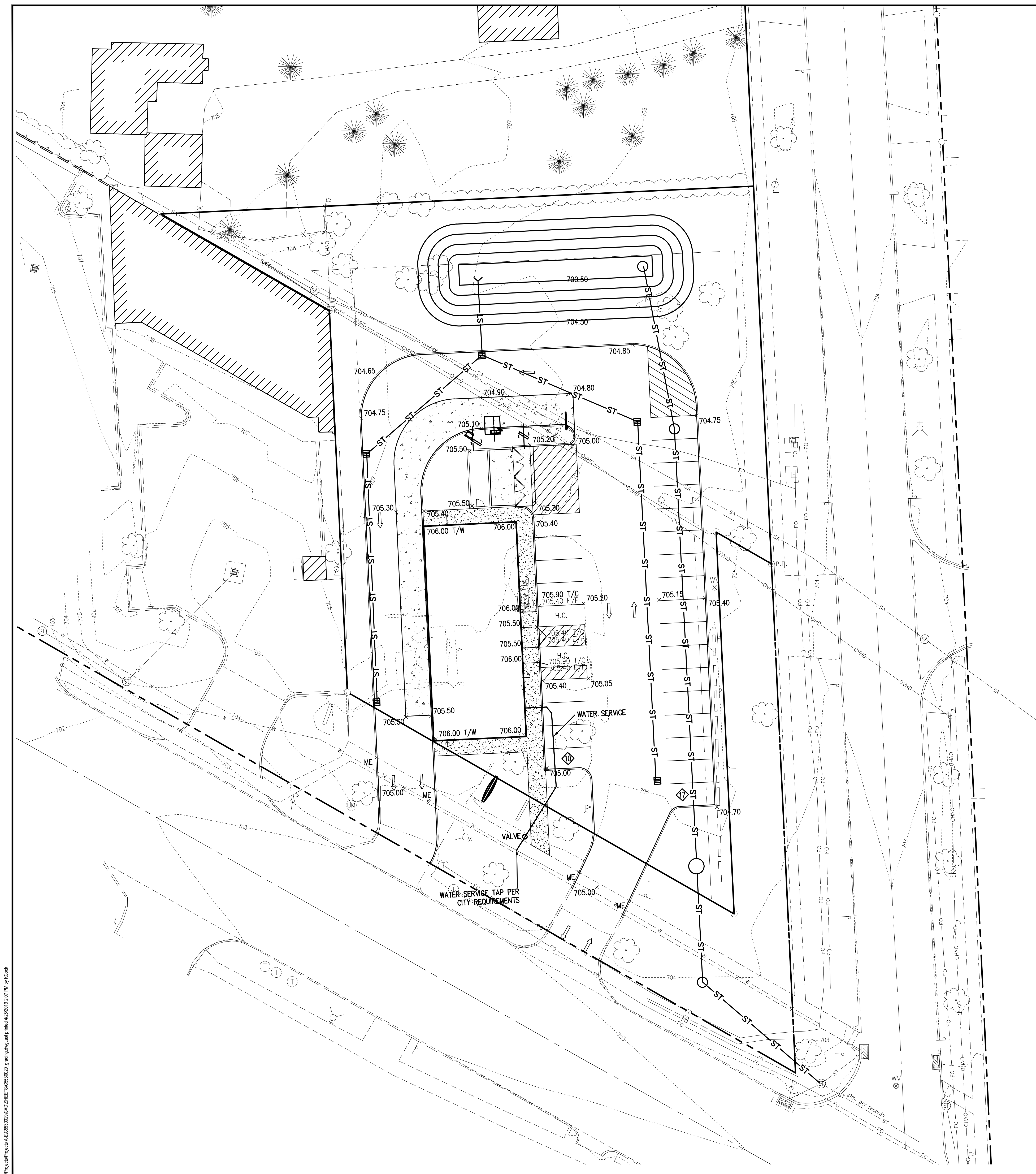
DATE: XX-XX-2019
 CHECKED BY: SMC
 REVISION
 DRAWN BY: DMW
 NO. DATE

BURGER KING
 948 INHES STREET
 SYCAMORE, IN 47203
 O : 315 . 024 . 0613
 F : 770 . 456 . 5338

CARROLLS

FLOOR PLAN

A-1



LEGEND

| | | | |
|--|--|--|----------------------|
| | EX CATCH BASIN | | PR MANHOLE |
| | EX CURB AND GUTTER INLET | | PR CATCH BASIN |
| | EX STORM MANHOLE | | PR CURB/GUTTER INLET |
| | EX SANITARY MANHOLE | | PR STRUCTURE NUMBER |
| | EX STORM STRUCTURE NUMBER | | PR LIGHT POLE |
| | EX SANITARY STRUCTURE NUMBER | | |
| | EX CONTOUR | | |
| | PR CONTOUR | | |
| | PR FLOW ARROW | | |
| | PR SURFACE SLOPE | | |
| | PR SPOT ELEVATION | | |
| | PR FLUSH CURB ELEVATION (0" CURB HEIGHT) | | |
| | MATCH EXISTING ELEVATION | | |
| | TOP OF CASTING ELEVATION | | |
| | HIGH POINT ELEVATION | | |

- NOTES**
1. ALL SPOT ELEVATIONS PROVIDED ARE AT THE EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
 2. ADD 0.5' TO PAVEMENT SPOT TO DETERMINE TOP OF CURB ELEVATION UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN ESTABLISHING ALL GRADES AND SLOPES IN PAVEMENT AREAS, RAMPS AND SIDEWALKS IN THE VICINITY OF HANDICAP PARKING. ACCESS AREAS SHALL COMPLY WITH FEDERAL, STATE AND LOCAL CODES. SLOPES NOT TO EXCEED 2% IN ANY DIRECTION.
 4. THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE IN ALL AREAS. PAVEMENT SHALL BE TESTED FOR ANY PONDING CONDITIONS FOLLOWING CONSTRUCTION.
 5. CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING AROUND EXISTING UTILITIES. COORDINATE ANY RELOCATION WITH RESPECTIVE UTILITY OWNER.

STORMWATER DETENTION CALCULATIONS

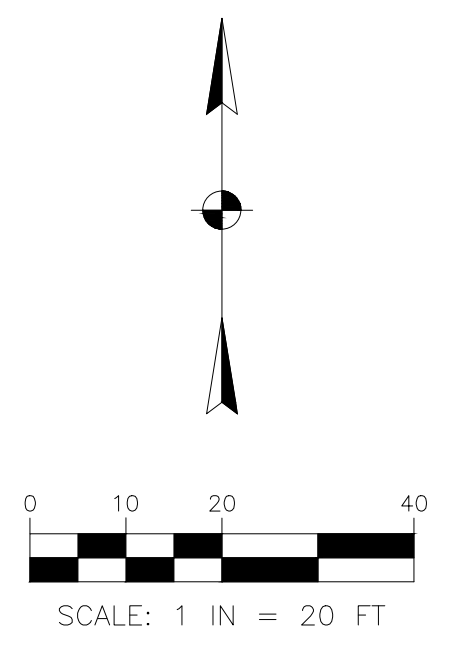
AREA: 1.0 AC.
 Ccov: 0.90
 Qc: 0.20 CFS/AC.
 $Q_0 = \frac{0.20}{(1.0)(0.90)} = 0.22 \text{ CFS}$

$T = -25 + \sqrt{\frac{6562.5}{0.22}} = 148 \text{ MIN.}$

$V_s = \frac{10500(148) - 40(0.22)(148)}{(148+25)} = 1,302 \text{ CFT/AC.}$

$V_r = (7.68)(0.90)(1.0) = 6,913 \text{ CFT}$

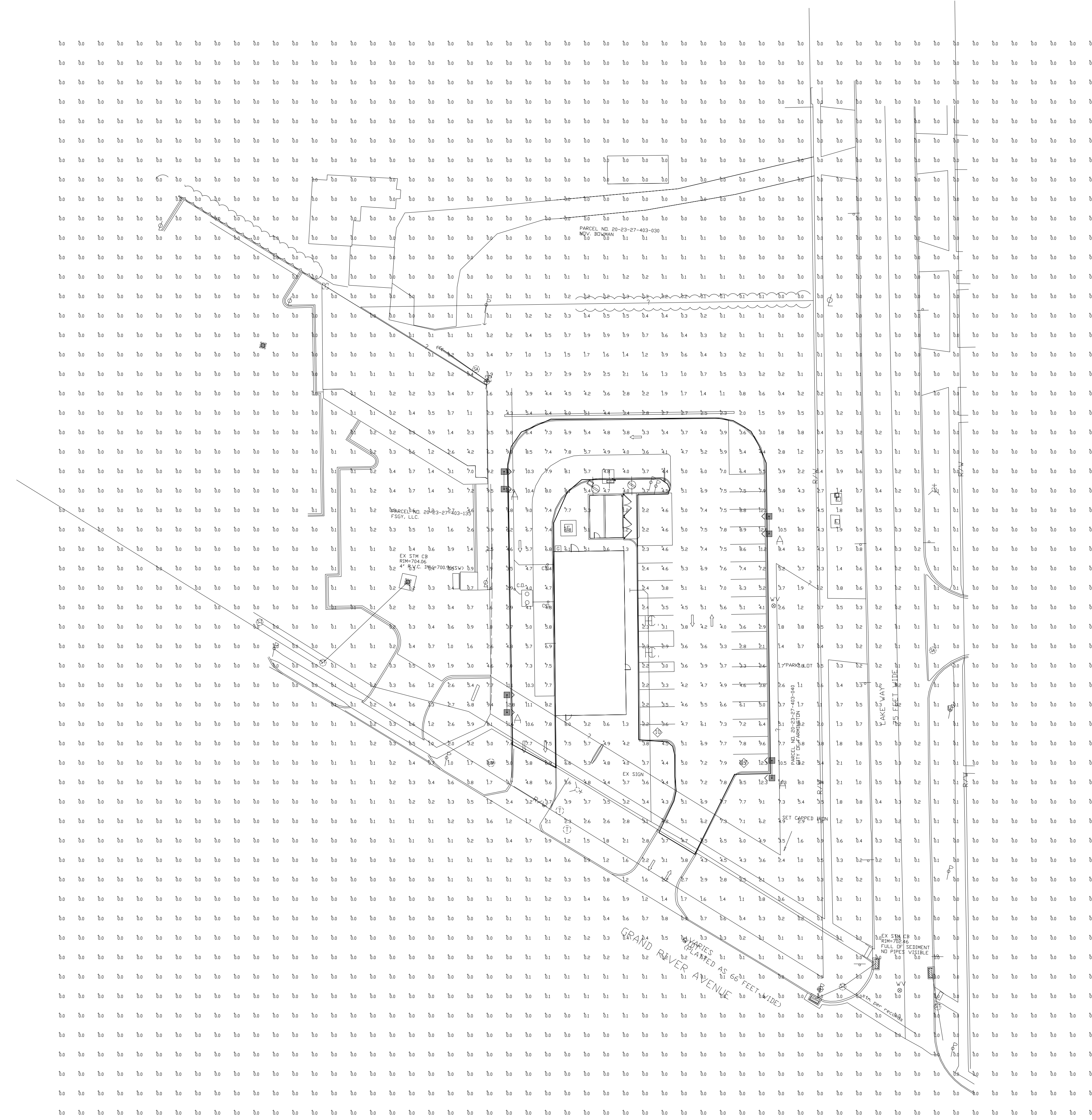
VOLUME PROVIDED: 7,050 CFT.



| | |
|--|---|
| 1180 DUBLIN ROAD, SUITE 100 COLUMBUS, OH 43215 TEL: 614.887.4422 FAX: 614.887.5440 | PROJECT DATE: 4/25/2019 PROJECT NO: C5580029 DRAWN BY: DES CHECKED BY: RJT |
| | NO. 1 DATE 4/25/2019 BY M/M DESCRIPTION CITY OF FARMINGTON REVIEW |
| | |
| PREPARED FOR: CARROLLS CORPORATION 988 JAMES STREET SYRACUSE, NY 13203 | |
| DEVELOPMENT PLAN FOR BURGER KING 31806 GRAND RIVER AVENUE FARMINGTON, MICHIGAN 48336 | |
| PRELIMINARY GRADING PLAN | |
| C300 | |

PRELIMINARY
 NOT FOR CONSTRUCTION

L:\Projects\Projects\4-C5580029\04\MEETINGS\04252019\017110.dwg 4/25/2019 10:17 AM by Klock



SLM

Click image to open Product Page

| Calculation Summary | | | | | | | |
|---------------------------|-------------|-------|------|------|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| ALL CALC POINTS AT GRADE | Illuminance | Fc | 0.75 | 12.9 | 0.0 | N.A. | N.A. |
| PARKING AND DRIVE SUMMARY | Illuminance | Fc | 5.70 | 12.8 | 2.1 | 2.71 | 6.10 |

| Luminaire Schedule | | | | | | | | | |
|--------------------|-----|-------|-------------|--|-------|-------|-------|------------------|------------|
| Symbol | Qty | Label | Arrangement | Description | LLD | UDF | LLF | Arr. Lum. Lumens | Arr. Watts |
| | 4 | A | D180° 2RTD | SLM-LED-30L-SIL-(1)-FT-L(1)-FT-R-50-70CRI-D180 ON 24' POLE + 2' BASE | 1.000 | 1.000 | 1.000 | 63478 | 497.2 |

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature notes does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 1988.8



LIGHTING PROPOSAL LO-147452

BURGER KING
31806 GRAND RIVER AVE
FARMINGTON, MI

BY:ANK DATE:4/29/19 REV: SHEET 1 OF 1

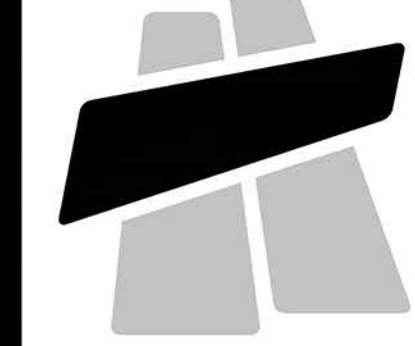
SCALE: 1"=30'



PROJECT #: 1900XXX
 ROC-60 TALL 20/20 IMAGE: NOVEMBER 2018 DESIGN RELEASE
BURGER KING # TBD
 ADDRESS TBD
 FARMINGTON, MICHIGAN

EXTERIOR ELEVATIONS

A-2.1



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948 INHES STREET
 STRASBURG, NY 13283
 O : 315 . 424 . 0313
 F : 710 . 456 . 5338



| NO. | DATE | DRAWN BY: DWM | CHECKED BY: SMC | REVISION |
|-----|------|---------------|-----------------|----------|
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DATE: XX-XX-2019



PROJECT # 1900XXX

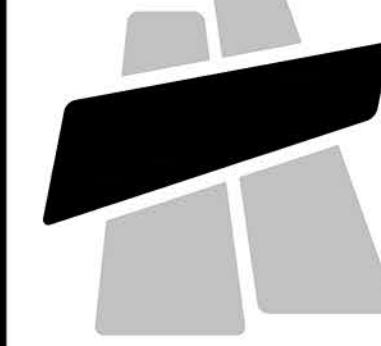
ROC-60 TALL 20/20 IMAGE: NOVEMBER 2018 DESIGN RELEASE

BURGER KING # TBD

ADDRESS TBD
FARMINGTON, MICHIGAN

A-2.2

EXTERIOR ELEVATIONS



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FRANCHISEE



968 JAMES STREET
SYRACUSE, NY 13203
O : 315 . 424 . 0513
F : 709 . 456 . 5238



DRAWN BY: DWV
CHECKED BY: SMC
NO. DATE REVISION

DATE: XX-XX-2019



May 3, 2019

Kevin Christiansen
Economic & Community Development Director
City of Farmington
23600 Liberty Street
Farmington, MI 48335

RE: Burger King – Site Plan Review #1
31806 Grand River Avenue

Dear Mr. Christiansen:

Our office has completed the first preliminary site plan review of the plans, dated April 25, 2019, for the proposed Burger King restaurant. The plans were prepared by the Mannik Smith Group, were received by OHM Advisors on April 26, 2019, and reviewed with respect to the Master Plan and other planning documents as well as the City of Farmington Engineering Standards and Design Specifications.

A brief description of the project has been provided below, followed by our comments and a list of required permits/approvals.

PROJECT AND SITE DESCRIPTION

The applicant is proposing to demo the existing building, drive-thru, and pavement onsite to construct a 3,065 square-foot building with associated parking and a single lane drive-thru. Site construction will include new storm sewer and an associated detention basin, as well as sanitary and water main leads to the proposed building. The existing Grand River curb cuts are to remain while the existing curb cut off Lakeway Street is to be abandoned. The development is being proposed on five (5) lots which include; 118 and 82 through 85 as shown on the plans.

PLANNING REVIEW COMMENTS

The applicant shall reference and consider Section 35-152 - Special Land Use Application procedure while reviewing this letter:

Prior to approving a special land use application the planning commission shall require that the following general standards, in addition to the specific standards noted for individual uses in [section 35-158](#), special land use specific requirements, be satisfied. The proposed use or activity shall:

1. Be compatible and in accordance with the goals, objectives and policies of the City of Farmington Master Plan.
2. Promote the intent of the zoning district in which the use is proposed.
3. Be constructed, operated and maintained so as to be compatible with the existing or intended character of the general vicinity and so as not to change the essential character of the area in which it is proposed.



4. Be served adequately by public facilities and services, such as traffic operations along streets, police and fire protection, drainage structures, water and sewage facilities and primary and secondary schools.
5. Not involve uses, activities, processes, materials and equipment or conditions of operation that, in comparison to permitted uses in the district, will be detrimental to the natural environment, public health, safety or welfare by reason of excessive production of traffic, noise, smoke, odors or other such nuisance.

Properties for which application for special land use approval is made shall also be subject to site plan review in accordance with the requirements of [Article 13](#), Site Plan Review. Failure to obtain site plan approval will constitute denial of the approved special land use.

Land Use Compliance Comments:

- Lot 118 is currently zoned as Single-Family Parking (R1P) and Lots 82 through 85 are currently zoned as Community Commercial (C2). The concept proposes a use that requires a Special Land Use permit for both districts. The following bullets outline further requirements of Special Land Uses for each zoning district.
 - R1P Special Land Use requirements for expansion of an existing commercial building onto adjacent lot under the same ownership must meet specific criteria, in addition to general Special Land Use Requirements (as outlined in section 12 of the Zoning Ordinance). Prior to approval, the Planning Commission shall require that the following requirements be met:
 1. An existing commercial building on an adjacent commercially zoned lot may be expanded into a lot that is zoned R1P single-family parking provided the expansion occupies no more than twenty-five (25) percent of total lot area zoned R1P single-family parking.
 2. The expansion must be compatible in design with the existing building.
 3. The design and construction of the expanded building, including the existing building, shall be reviewed by the planning commission for consistency with the area.
 4. Adequate buffering, as determined by planning commission, must be provided and may consist of walls, fencing, landscaping or a combination of these that will adequately protect adjacent residential districts and uses.
 - C2 requirements for a drive-through must meet the following items:
 1. Drive-through uses shall be designed to minimize conflicts with pedestrian or vehicular circulation and shall meet the following standards:
 2. The number of drive-through lanes shall be limited to the following:
 - a. Drive-through banks and car washes shall have a maximum of three (3) drive-through lanes, including any that are devoted to ATM(s).
 - b. All other drive-through uses shall have a maximum of one (1) drive-through lane.
 3. Stacking Spaces shall be provided as required in Article 14, Off-Street Parking and Loading Standards and Access Design.
 4. Communication and speaker boxes shall meet the following requirements:
 - a. Speakers shall be placed as close as safely possible from the edge of the drive-through lane; in no case may speakers be more than three (3) feet from the drive-through lane.
 - b. Where feasible, speakers shall face away from residential neighborhoods.
 - c. Noise from communication speakers shall not exceed fifty (50) decibels at a nonresidential property line and thirty (30) decibels at any residential property line. Where a screening wall is provided, the noise level shall be measured on the residential side of the screening wall.
 5. Site design for drive-through uses shall use the minimum number of driveways possible. Use of two (2) directional driveways may only be allowed if there are no other reasonable alternatives, such as access to a side street, rear alley, cross-access easement or shared driveway.



6. Circulation patterns shall separate pedestrian and vehicular traffic where possible. Clear delineation of pedestrian crossings shall be provided in the form of textured concrete or asphalt, striping or other method that clearly draws attention.

Plan Compliance

- The CIA Vision Plan included the proposed site in the study area but did not identify the site as a focus area. The Plan called for this site to contain a mix of uses, including small to medium sized retail, office, and residential.
- The Master Plan's Future Land Use Map identifies lot 118 as Residential, while the concept proposes commercial and parking. Lots 82 through 85 are identified in the Future Land Use Map as Neighborhood Centers, which complies with the proposed use of C2.
- Future submittals will need to consider all site design elements such as lightning, landscaping, building design, etc. These items were not reviewed in detail with this submittal considering the other items outlined above.

ENGINEERING SITE PLAN REVIEW COMMENTS

The following comments shall be addressed by the applicant:

1. The existing sidewalk and sidewalk ramps stretching along the Grand River Avenue frontage shall be reviewed for ADA compliance. If the sidewalk and/or sidewalk ramps are not in compliance, they shall be reconstructed.
2. A representation of how a garbage truck will access the proposed dumpster location shall be provided. It is recommended an AutoTurn turning template be added to the plans.
3. It appears that the trash corral details are not shown on the architectural sheets. The applicant shall provide a detail of the proposed dumpster enclosure.
4. The applicant shall provide a detail for the proposed masonry wall to be constructed on the north end of the site.
5. It appears the storm sewer material type is not shown on the plans. All proposed storm sewer shall be a minimum 12-inch RCP.
6. City of Farmington storm sewer standard details shall be provided. OHM can provide these at the applicant's request.
7. The applicant shall show on the plans the locations of the proposed traffic signage to help depict the drive thru/exit lane versus the entrance drive and help to avoid "wrong-way" traffic off Grand River Avenue.
8. It appears the area totals on sheet C200 were left blank. The total site area along with the areas of impervious and pervious surfaces shall be provided.
9. Spot elevations shall be provided for the proposed sidewalk and handicap parking spaces at the proposed building to ensure ADA compliance.
10. Storm sewer conveyance and detention basin calculations shall be provided.
11. The existing sanitary sewer shall be shown on the utility plan.
12. The applicant shall provide a detail of the proposed mechanical treatment structure.

PERMITS/APPROVALS

The following outside agency reviews and permits may be required for the project. Copies of any correspondence between the applicant and the review agencies, as well as the permit or waiver, shall be sent to both the City and this office.

- This plan will need to be reviewed by the Farmington Grand River Corridor Improvement Authority (CIA).
- A building permit will be required by the City Building Department.
- Any proposed work within the Grand River Avenue right-of-way will require a MDOT permit as Grand River is under MDOT jurisdiction.
- An OCWRC soil erosion and sedimentation control permit will be required if the total site disturbance is greater than 1 acre.



- ▶ A preconstruction meeting shall be held prior to the start of construction. A preconstruction requirements letter will be sent under separate cover and will outline provisions for insurance, bonds and inspection deposits necessary prior to scheduling the preconstruction meeting.
- ▶ Any other permits necessary (through the City or other agency) shall be obtained prior to starting construction.

It shall be noted that additional comments may be generated from information presented in future submittals. If you have any questions, please feel free to contact us by phone at (734) 522-6711 or by email at matt.parks@ohm-advisors.com.

Sincerely,

Handwritten signature of Matthew D. Parks in black ink.

Matthew D. Parks, P.E.

Handwritten signature of Austin Downie in black ink.

Austin Downie

MDP/abd

cc: Jeff Bowdell, City of Farmington
Chuck Eudy, City of Farmington
Kate Knight, City of Farmington
Mark Mathe, P.E., Mannik Smith Group, 1160 Dublin Road, Suite 100, Cincinnati, OH, 45242
File

P:\0101_0125\SITE_FarmingtonCity\2019\0111191010_Burger_King\SP\BK_SP1_2019-5-03.docx

Lisa McGill - Fw: Proposed Burger King on Grand River and Lakeway

From: Patrick Thomas <p-thomas@mindspring.com>
To: Thomas Patrick <Patrick.Thomas@trw.com>
Date: 5/8/2019 7:25 AM
Subject: Fw: Proposed Burger King on Grand River and Lakeway

-----Forwarded Message-----

From: David Gaspard
Sent: May 7, 2019 6:30 PM
To: "p-thomas@mindspring.com"
Subject: Proposed Burger King on Grand River and Lakeway

Hello Patrick Thomas,

We have been Lakeway residents for 25 years. During that time, we have made countless upgrades and improvements to our home and the surrounding property. Spending a large amount of money, as well as, doing a lot of hard work. Also, during that time, we have happily watched the many upgrades and improvements going on in the City of Farmington, and in our local neighborhood of Lakeway, Valley View, and Prospect. However, we were very upset when we learned that a Burger King is being proposed for the corner of Lakeway and Grand River. We believe this would be highly detrimental to the stability of our local neighborhood, and in turn, to City of Farmington as a whole.

As it is now, we see a lot of traffic, often speeding, by teens going to Farmington High and by other drivers who use Lakeway as a cut through from Grand River to Shiawassee and vice versa. With that traffic, comes both litter and noise. Not to mention the danger to pets and pedestrians, particularly young children.

We can understand the attraction of this location to the owners of a Burger King: Right down from the high school. However, they only work here and don't have to tolerate the increased traffic, noise, litter, and horrendous smell wafting through the neighborhood, at all hours, that a Burger King in that location would entail. Neighborhood residents, on the other hand, eat, sleep and live here. We would see a likely drop in our future property values and a detriment to the stability of the entire neighborhood that would ensue. In addition, there is a strong likelihood of rodents being attracted to the area by the cooking odors and those emanating from the garbage dumpster that a fast food restaurant would require.

It is my understanding that, at present, this location is not zoned for a fast food drive up window and a variance would be required. Again, this would cause additional noise at all hours of the evening and on weekends, as well the additional light that a drive thru window and associated signage would require.

This is a very nice neighborhood and I believe the Farmington Planning Commission, and the Grand River Corridor Improvement Association have been doing a great job of making Farmington one of the most attractive small towns in Southeast Michigan. A Burger King at this location would be a massive setback to all the progress Farmington has made, as well as

the vision we have for the future. For these reasons, I urge you to do everything in your power to deny Burger King permission to locate here and to deny them any variances for a drive thru window, signage or anything else they may require.

Sincerely,

David and Amy Gaspard

22829 Lakeway

Dear city representative,

As a resident of Lakeway within the city of Farmington, I am concerned with the potential that a fast food venue, such as Burger King, could be recommended for installation at the juncture of Grand River and Lakeway. Lakeway is an established neighborhood, and the addition of a mega-conglomerate fast food chain is in complete contrast to the existing area setting. Bright lighting, fatty-greasy stench, obnoxious drive through speakers, and increased vehicle congestion would degrade the quality of the homeowner's environment.

Farmington has been designated as one of the best cities to live by national magazines, such as Money Magazine. Community, history, and charming neighborhoods are always cited when describing the city's appeal. My particular house was built in 1942, has established trees, and matches that of the surrounding streets. A fast food venue would sharply contrast with the neighborhood.

Beyond any gaudy corporate standardized building design, the smell and sounds that accompany such a business would be an even greater contrast to Lakeway's day-to-day atmosphere. If you have ever been stopped at the light at Orchard Lake and 10 mile road, you have assuredly had your senses assaulted by the greasy and oniony fast food smell from less than 40 ft away. Now imagine being in my home on a warm summer evening and having that uncontrollable smell wafting through your home. Now add the exhausting sounds of vehicles and a speaker crackling out "Would you like fries with that?" at 10:50PM.

As I stated above, my house was built in the 1940's. It has baseboard water heat; hence, no central air conditioning. Fortunately, my wife and I enjoy the calming breeze and fresh air that blows through our bedroom on summer nights when we sleep. A neighboring fast food business would eliminate any such further evenings. Yes, my house is the house that is closest to the targeted lot, so the description above would not be an exaggeration. There are plenty of raccoon, opossums, and other wildlife in my yard, so I do not look forward to the sounds of their late night foraging in the smelly-food-waste-filled dumpster that will assuredly be placed in the back corner 30 ft from my house.

The traffic flow on Lakeway is also a major concern. Lakeway already has a continuous stream of vehicles driven by young inexperienced drivers racing towards the high school in order to not be marked tardy. More than once I have been pushed to the curb while exiting my driveway on my way to work. Adding drive through traffic to an already hectic period would only escalate the chances of vehicle accidents and potential injuries. Based upon the distance from the Farmington downtown area, any fast food vehicle this far would subsist solely on vehicular business. After all, folks in Farmington constantly complain about no place to park, and will not walk a few 100 yards to the businesses they want to visit. No one will be walking from the downtown to a Lakeway fast food venue. Lastly, a fast food venue is not the same as all of the 9-5 businesses that line the Grand River corridor outside of downtown Farmington near Lakeway.

The addition of a fast food venue with all of its associated noise, smell, and traffic is clearly not ideal for allowing the homeowners to maintain their existing standard of living. Nor is it fitting with the character that Farmington is known for.

Regards,

John V. Bowman

Home owner 22801 Lakeway

From: Patrick Thomas <p-thomas@mindspring.com>
To: Thomas Patrick <Patrick.Thomas@trw.com>
Date: 5/8/2019 7:25 AM
Subject: Fw: Burger King

-----Forwarded Message-----

>From: carzon@reagan.com
>Sent: May 7, 2019 5:54 PM
>To: maccettura@elderlawmi.com, plazavet@plazavet.net, drcarron@aol.com, regrahan734@aol.com, kingsgarage1@sbcglobal.net, sbowman@farmgov.com, p-thomas@mindspring.com, pastorrandy@freedomgateway.org
>Cc: carzon@reagan.com
>Subject: Burger King
>
>May 7, 2019
>
>Dear CIA and Farmington Planning Commission,
>
>As a resident of the Lake Way/Valley View residential community, I would like to voice my concerns about the addition of Burger King to our neighborhood. Being raised a country girl made it difficult for my husband and I to find a home close to his work in Livonia. But 6 years ago, we were able to make the move to our current home. My husband passed away last year, and there are 2 reasons why I am staying in Farmington.
>
>The City of Farmington has a quaint downtown with unique shops and welcoming people. It is family friendly and I feel that my kids are in a safe environment.
>
>The second reason why I am staying in Farmington and the most important reason is my neighborhood. Our neighborhood is the blueprint of the ideal neighborhood. We have it all. Because there is a neighborhood picnic every year, we know each other. We watch out for each other. We smile and greet each other. How many people can say that about where they live? And we go Christmas caroling throughout the neighborhood! I have told my friends that it is like a step back in time when people felt safe about their kids riding their bikes and climbing trees.
>
>This may all change in a couple of weeks. If Burger King moves in, it will change. Traffic will increase so that our kids won't be able to ride their bikes. Noise will keep the kids awake so we will no longer have peaceful evenings of sitting on our porches. And rodents will become a serious issue. I also realize that customers will be using our neighborhood to turn around, and there will probably be an exit onto our street.
>
>This just does not sound like Farmington, the family friendly city. It is up to you to define what our city stands for, what we want our city to be, and what environment we want to cater to. Burger King or family. Please keep Burger King out of our neighborhoods.
>
>Thank you and God bless,
>Jeanne-Marie Carzon – widow with 6 kids living in the yellow house
>22936 Lake Way
>
>
>
>

Lisa McGill - Fw: Proposed Burger King at Grand River Avenue and Lake Way, Farmington Michigan

From: Patrick Thomas <p-thomas@mindspring.com>
To: Thomas Patrick <Patrick.Thomas@trw.com>
Date: 5/8/2019 7:26 AM
Subject: Fw: Proposed Burger King at Grand River Avenue and Lake Way, Farmington Michigan

-----Forwarded Message-----

From: Mary Archer
Sent: May 7, 2019 2:53 PM
To: maccettura@elderlawmi.com, plazavet@plazavet.net, drcarron@aol.com, regraham734@aol.com, kingsgarage1@sbcglobal.net, sbowman@farmgov.com, p-thomas@mindspring.com, pastorrandy@freedomgateway.org
Subject: Proposed Burger King at Grand River Avenue and Lake Way, Farmington Michigan

TO: CIA and Planning Commissioners for Farmington, Michigan

FROM:
Mary and William Archer
22800 Lake Way
Farmington, MI 48336

We write with great concern of the proposal of having a Burger King at the corner of our street, Lake Way. We wish to object strongly to this development.

We purchased our home and moved in January 2018. I originally lived in Farmington from 1964 - 1984 and graduated from Farmington High School. I convinced my husband to move to Farmington, showing him the love of the area, beautiful homes and wonderful neighborhoods.

When we heard of the potential Burger King, nothing can describe our reaction other than huge disappointment. Farmington is the community we choose because of the strict policies of protecting neighborhoods, keeping property values as high as possible.

Doing a quick review, I will list a few of the objections we have to the Burger King or any fast food restaurant with a drive thru.

I do not believe a drive thru restaurant can have a driveway onto a residential street, and the number of driveways allowed on Grand River is limited. With the property currently as is the driveway onto Lake Way would not be allowed and another entrance from Grand River would also not be allowed.

The waste containers, which I assume they would want to keep at the back of the property would abut a residence. The very back of this property based on the current zone map online has the current grass area to the north listed as residential parking. If this is a correct read, this property would not be available for their use as parking? Having large waste containers in a residential area could bring rodents, litter, and smell to our neighborhood.

Traffic - We are a neighborhood with young children. Lake Way is already a cut through for high school students to and from school causing high traffic twice a day, it is also the bus route to the high school, and a bus stop for elementary students is on Lake Way. Having a fast food restaurant located so close to our children is a serious concern.

Noise - We have a beautiful quiet neighborhood, a drive thru restaurant with an outdoor speaker will create noise during the operating hours, as well as cars coming and going at late and early hours.

Farmington has a friendly neighborhood character. If driving west of Grand River, and coming across a Burger King, this will set the tone of what our city is to persons passing through or coming to Farmington for dinner, shopping or visiting.

I understand the desire to develop properties that are currently vacant and are for sale but not at the expense of the cities vision and the people who live here. This should not be at the expense of pedestrian safety. We have a neighborhood where people walk downtown, walk their dogs and children ride their bikes.

Lighting - the constant glow of bright parking lot lighting will be an annoyance to residents. There are currently houses that are directly across the street and side this property.

Property Values - The concern that a Burger King will cause property values to drop, residents will move out and look for a new home to live. The current residents will have to sell at a loss and the new homeowners might not care to maintain their properties as well as the current homeowners.

The City master plans asks, " Is the proposed change in keeping with the intent to protect the public "health, safety and welfare"? I don't believe this change is keeping with the master plan.

Based on page 5-33 of the master plan.

The city may allow some expansion of rear yard parking into the adjacent residential subdivision where ALL of the following conditions can be satisfied.

The rear parking lot will be across the street from residences, commercial parking lot access should be restricted from residential streets, etc.

Please consider all the residents concerns, other properties are available for Burger King within the city that would not impact residents.

Thank you for taking the time to read my concerns, stop by and visit our neighborhood to view the terrible impact this will have.

Mary Archer

Lisa McGill - Fw: CONCERNED Family Regarding Possibility of New Burger King in Farmington at Grand River and Lake Way

From: Patrick Thomas <p-thomas@mindspring.com>
To: Thomas Patrick <Patrick.Thomas@trw.com>
Date: 5/8/2019 7:27 AM
Subject: Fw: CONCERNED Family Regarding Possibility of New Burger King in Farmington at Grand River and Lake Way

-----Forwarded Message-----

From: Tess Castine
Sent: May 7, 2019 12:35 PM
To: p-thomas@mindspring.com
Subject: CONCERNED Family Regarding Possibility of New Burger King in Farmington at Grand River and Lake Way

Dear Mr. Thomas,

My name is Tess Wolfe. I'm 33 years old and the mother of 5 wonderful children. My husband and I live at 22805 Lake Way road. I am writing to you today to share my deepest concerns with you regarding the possibility of Burger King building a new Fast Food restaurant at the end of our family neighborhood street, on the Northwest corner of Grand River and Lake Way.

I was born and raised in Farmington. I grew up on Brookdale Street, where my parents still reside 45 years after purchasing their house. I met my husband in 9th grade. He also spent the majority of his childhood growing up in Farmington, living off Shiawassee and Tuck Road. We both spent years of our young adult lives in other cities. But when it came time for us to pick a place to raise our family, Farmington was an obvious choice as it held a very special place in both of our hearts.

When we first stepped foot inside of the house with the green door (as our children had lovingly nicknamed it), we instantly fell in love. It had everything a young growing family with young kids could hope for, including a white picket fence, a large backyard, and most of all, the family neighborhood atmosphere, only 0.5 miles from where we both grew up and had shared many memories together. It was perfect! We moved in March 2011 and have enjoyed every minute of it since. We have 5 children. Our boys are 16, 13, and 7. Our girls are 12 and 4. One of the best parts of this neighborhood is the family atmosphere with lots of other kids for our children to play with.

One of the absolute best parts to this street is the close knit friendly neighborhood feel and atmosphere, with lots of other kids for our children to play with. All neighborhood houses are well maintained, yards are clean and taken care of, the air is clean, there is minimal noise and lighting, and we get to enjoy an overall peaceful scenery. The business properties directly surrounding the neighborhood are your traditional 9-5 businesses. Only three businesses have late night hours within a quarter mile of my house. The difference between those three

businesses and the Burger King proposed directly two doors down from our family home is very simple.

If you head West on Grand River at Power Road, there is a 24 hour marathon gas station. This service station does serve food during lunch and dinner times but stops at a reasonable hour during the day. Based on this and the fact that the service station is surround by other commercial businesses, it has no impact to the surrounding residential areas in the ways of car noise, lighting, or overall quality of the air. If you head East on Grand River at Mooney Street, you have Zap Zone Laser Tag and Wendy's on Grand River Ave. Although Wendy's has a drive through and late hours, once again, it is far enough away from the residential areas that it doesn't affect any of the family homes. There is also a large strip mall at Grand River and Mooney Street. However, these businesses are open during normal business operating and none of these business affect the residential area.

When we first bought our house, we used to like to sit on our porch while listening to the football games, marching band, and other events going on at the school. With Middle School and High School aged children, we have a lot of support for our home team, The Farmington Falcons. However, the thought of relaxing outside by the bonfire listening to a loud drive thru speaker, cars, and car radios is less than appealing to our family. Even less appealing is the thought of dumpsters and fry oil disposal literally less than 100' from our door. The thought that our peaceful and neighborhood environment that we have enjoyed for the past 8 years will be so greatly impacted by the addition of a Burger King is very disheartening and upsetting for us.

We are also very concerned for, not only our children's safety, but the safety of all of the neighborhood children. This is based on the additional traffic this Burger King Location will bring to our street. When we purchased this home, there were many things that we took into consideration. Having grown up in Farmington, it is well known that Farmington High School creates a lot of traffic, with Lake Way being one of the busiest routes to the school. Having younger kids, this was a concern. However, based on the timing of the High School traffic, we were able to determine that we would be mostly unaffected by the traffic as it was expected the same time of every weekday. Thankfully, this traffic does not affect our younger children as they are still at school when the High School lets out. Burger King will be busiest during the lunch and dinner hours. Many of the neighborhood children like to play outside together during the evenings. Adding this additional traffic to our street during prime outdoor playtime hours is a major safety risk to our children.

Not only will it affect our outdoor life, based on the location of our house to the proposed location of this Burger King, it will also affect our daily life inside the walls of our house. As our next door neighbors house is set far back on their property, our upstairs bedroom windows have a direct view of the proposed location. During the winter months, when the parking lot of the current proposed location requires snow removal, the plows and snow blowers are typically active in the middle of the night. This noise has woken up our family multiple times. However, I understand that it is a necessity and it does not happen every night of the week. However, having a loud Burger Kind there that operates 7 nights a week will greatly disrupt our family during hours that the kids should be sleeping and resting for the next day of school. Especially when we enjoy opening the windows at night when the weather gets warmer during the year.

Farmington currently has a few restaurants that sit on corner lots of residential subdivisions with no commercial protection around them:

- Chicken King (No Drive Thru) - Grand river and Mayfield hours 11 am- 9pm
- Panera bread (No Drive Thru)- Grand River and Whittaker Rd. 6am - 9:30 pm
- Two Roses restaurant (No Drive Thru/ Not "Fast Food")- 7am- 9 pm

As you can see, those businesses close within normal operating hours. The Burger King hours of operation of the two closest locations are Drive-Thru open 24 hours (12 mile and Orchard Lake) and Drive-Thru open until Midnight (7 mile and Middlebelt). Both of these close much later than the other businesses mentioned. Even having a Drive-Thru open until 11pm would cause our neighborhood great problems.

In addition to the loud noises late at night, the additional parking lot lighting shining on and into my house late into the night will cause our family much disruption. Imagine trying to sleep with the windows open, as my family enjoys doing regularly, and having to listen to the drive thru speaker the whole time? Or the smell of Burger King burgers and fryer grease coming out of the exhaust fans until midnight (or later). Also, the dumpsters sitting close to my property line and even closer to my neighbor's house pose major issues, which include unnecessary smells and stenches and, even worse than that, rodent issues. None of this is conducive to a peaceful and tranquil neighborhood atmosphere as I previously described. Another concern is that Burger King is a EEOC (Equal Employment Opportunity Commission) employer, which, per their own Employee Manual, means they will not deny you employment based on you being a convicted sex offender or felon. This poses a major and unnecessary risk to the population of students and children within the residential neighborhood. Information regarding Burger King and hiring felons can be found at <https://successfulrelease.com/does-burger-king-hire-felons/>

The purpose of this email is to encourage you to make the best decision for our single-family residential street in an established neighborhood. You have the unique ability and opportunity to help our neighborhood family's stop Burger King from choosing this specific location in Farmington, MI. I would like to stress that we are not against Burger King finding a place within Farmington. I believe that with some City input and further research, a better suited site for this restaurant could easily be identified and attained. Farmington has a booming economy, especially downtown. And that's in large part due to the little influence of large corporations who just chase money and have little interest in their footprint effecting surrounding areas.

Thank you for your time,

Tess and Phillip Wolfe and our Wolfe Pack

Lisa McGill - Fw: Burger King Proposal for Grand River and Lake Way

From: Patrick Thomas <p-thomas@mindspring.com>
To: Thomas Patrick <Patrick.Thomas@trw.com>
Date: 5/8/2019 7:28 AM
Subject: Fw: Burger King Proposal for Grand River and Lake Way

-----Forwarded Message-----

From: James Kuhl
Sent: May 7, 2019 11:48 AM
To: james@tippingpointtheatre.com
Subject: Burger King Proposal for Grand River and Lake Way

Dear Corridor Improvement Authority,

I am writing to you today to vehemently oppose the approval of a Burger King to be constructed on the corner of Grand River and Lake Way.

I currently see no perspective about this idea that would be beneficial to me or my neighborhood or even the community as a whole by approving this location. In fact, every aspect of this proposed location would be a direct detriment to my family, my community, my property, and my daily life.

I disapprove of the smell that I and my family will need to live with on a constant daily basis. Not being able to open my windows for fresh air because it will be met instead with the constant smell of grease and burgers.

I disapprove of the vermin that will most assuredly come with the type and amount of garbage that will be generated. I have previously lived in an area that I would set rat traps on a nightly basis and had to make it a part of my daily routine to empty and dispose of dead or half-dead vermin in morning. I assure you, it is as unappealing as it sounds.

I disapprove of the noise from the drive thru speakers that I will surely be able to hear from my yard and possibly in my house.

I disapprove of seeing a Burger King instead of a green space every time I walk out my front door.

I disapprove of the added traffic that will come from fast food patrons. With small children in virtually every house around this location, it is terrifying to think about the potential for accidents.

I highly disapprove of the use of space and congestion that would be generated from a drive thru. Lake Way is an active access to the high school in the morning and afternoons for school, as well as any time there is an after school activity like a sporting event. The traffic that would be generated by combining the normal Burger King business traffic with teen drivers will create a virtual parking lot on Lake Way on a daily basis. There is not space for that.

I disapprove of the drop in property value that will come from the proximity to a Burger King. The idea of living a literal stones throw to a Burger King is horrendous and I never would have purchased our home if that was the case.

I disapprove of the late hours of operation in relation to the above mentioned noise, smell, and traffic.

I have lived next to a business with very late, loud and active business hours. I have lived on large traffic roads. I have lived adjacent to a 7-11. Those places are chosen out of necessity, not out of preference. I treasure and rely and love the quietness of my street and the friendliness of my neighborhood. Please do not threaten that by approving this project location.

I will be in attendance at every meeting that I can in search of some semblance of reason for why this would be an Improvement to the greater community, because it is certainly a detriment to every resident and constituent in the vicinity.

There are far more appropriate locations for a fast food establishment in the area.

As a member of the Corridor Improvement Authority – Please oppose this project location.

Respectfully,

James R Kuhl

Lake Way home owner

Lisa McGill - Fw: Burger King on Lakeway

From: Patrick Thomas <p-thomas@mindspring.com>
To: Thomas Patrick <Patrick.Thomas@trw.com>
Date: 5/8/2019 7:29 AM
Subject: Fw: Burger King on Lakeway

-----Forwarded Message-----

From: Ann Marie Jones
Sent: May 7, 2019 9:11 AM
To: maccettura@elderlawmi.com, plazavet@plazavet.net, drcarron@aol.com, regraham734@aol.com, kingsgarage1@sbcglobal.net, sbowman@farmgov.com, p-thomas@mindspring.com, astorrandy@freedomgateway.org
Subject: Burger King on Lakeway

I recently heard that Burger King would like to purchase a property at the corner of Lakeway in Farmington. I have strong objections to this proposal as this area on our community is a long established single-family residential neighborhood. I can't imagine how upsetting the prospect of bringing in a drive-thru fast food chain would be to the families that live in that area. Also, it seems to me that bringing in a fast food retail shop in that location goes against the vision of our community development. There are better locations for a fast food restaurant that would suit both their needs and the needs of the residents within the Lakeway community, and Farmington at large.

Please consider denying this Lakeway location for a fast food restaurant.

Thank you,

Ann Marie Jones
Resident of Farmington for one year.

Lisa McGill - Fw: Proposed Burger King at Grand River and Lakeway

From: Patrick Thomas <p-thomas@mindspring.com>
To: Thomas Patrick <Patrick.Thomas@trw.com>
Date: 5/8/2019 7:29 AM
Subject: Fw: Proposed Burger King at Grand River and Lakeway

-----Forwarded Message-----

From: Andy Monique
Sent: May 7, 2019 7:39 AM
To: maccettura@elderlawmi.com, plazavet@plazavet.net, drcarron@aol.com, regraham734@aol.com, kingsgarage1@sbcglobal.net, sbowman@farmgov.com, p-thomas@mindspring.com, pastorrandy@freedomgateway.org
Subject: Proposed Burger King at Grand River and Lakeway

Dear Corridor Improvement Authority member:

This is in regards to the proposed Burger King on the corner of Lakeway and Grand River. I do not believe that this is an appropriate location for this type of business. This is directly adjacent residential property. I don't think any of these residents expected a fast food drive through restaurant at this location. It has always been a quiet 9-5 business there. There are many negatives associated with a fast food drive through restaurant. Such as noise, traffic, pollution and odor to name a few.

There seem to be several other locations available in the area then may be more appropriate for this type of business. It would be best to have a buffer space between this business and neighboring residential properties. Lakeway can already get busy with High School traffic at certain times of the day. This business would just compound that situation. This specific business tends to have a very unpleasant aroma, which would affect the neighbors from enjoying the outdoor life that attracted many of them to this nice neighborhood.

This is not the type of business Farmington wants in this location. Please consider this carefully.

Respectfully,

Andy Monique

22815 Lakeway

Farmington, MI 48336

Lisa McGill - Fw: Resident Objecting Fast Food on Lake Way

From: Patrick Thomas <p-thomas@mindspring.com>
To: Thomas Patrick <Patrick.Thomas@trw.com>
Date: 5/8/2019 7:30 AM
Subject: Fw: Resident Objecting Fast Food on Lake Way

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From: Hallie Bard
Sent: May 6, 2019 11:56 PM
To: "maccettura@elderlawmi.com"
Subject: Resident Objecting Fast Food on Lake Way

It has been brought to my attention that Burger King is seriously interested in purchasing the plot of land at the corner of Lake Way and Grand River in Farmington. As a homeowner on Lake Way, I would strongly urge the Corridor Improvement Authority to deny this request of purchase. Our street is in a well established single family residential neighborhood, and a fast food restaurant's presence would be problematic.

Fast food restaurants such as Burger King do not have limited hours like other independently owned eateries, which would create traffic, noise, and general disruption to weekday evening and weekend family tranquility.

I have a very strong objection to living across the street from a restaurant with a drive thru. The constant sound of the intercom interrupting our daily family life would be irritating at best. Our street leads to Farmington High School, so we already see an increase of traffic and varying speeds from young drivers traveling to and from school. My concern here is that the addition of a drive thru at this location would create an increased traffic impediment as well as risk of accidents with young drivers zipping in and out before/after school. When the drive thru got busy, my family would have to see the stack up of cars and deal with the potential turn-arounds in our driveway. The increase in noise pollution from vehicular exhaust, music and shouting from car windows, and the speaker from the drive thru intercom at all hours of morning, day, and night would be a nightmare for my young family.

The smell from the grease traps, fried foods, and dumpsters would be something we would absolutely object to, not to mention the increase in rodents and other pests who would feast in the dumpsters, but make their homes in our family neighborhood. The garbage increase to the street would also be problematic, as well as the increased lighting for the parking lot and drive thru while my children are trying to sleep.

To quote from the Downtown Farmington Master Plan, " In the eastern portion of the City are older neighborhoods that contain more modest homes on smaller lots.

While these neighborhoods are largely in good condition, there are some areas that are beginning to show decline. Of particular concern are lots around the perimeter of the neighborhoods that abut commercial development." If there is "particular concern" about this, it seems counter intuitive to choose to allow a business in a residential area that would only perpetuate this concern. Again, quoting from the Downtown Master Plan, "The major roadway corridors through the City are largely developed as commercial, intermixed with residential. Because these corridors are heavily traveled by both residents and visitors to the community, **they are a key element in defining the character of the community.**"

Is a fast food restaurant with a drive thru in a residential neighborhood really fitting with defining the character of our community? According to the City of Farmington Master Plan map of Future Land Use, the property in question would, ideally, be used for Neighborhood Centers, which are described as having low traffic volumes--something Burger King would not have. Also, according to the Future Plan, Neighborhood Centers "are located in close proximity to the residential neighborhoods they serve and should include design elements that are compatible with surrounding residential uses." I can assure you that a fast food restaurant such as Burger King does not have design elements that are compatible with our neighborhood esthetic. There is no doubt in my mind that if a fast food restaurant such as Burger King were to occupy that land, our neighborhood's property values would definitely go down. There is no way we would have chosen to purchase our family home here if a fast food joint was preexisting. In fact, if you are interested in retaining homeowners, this is not the way to do it.

In summary, I have great concerns about any type of fast food restaurant with a drive thru purchasing the lot on Lake Way. For the safety, well being, quality of life, character, and privacy of our family and neighborhood, PLEASE do not allow this purchase. Ask yourself this: if it was YOU and YOUR FAMILY faced with this development across from your home, would you support it?

Thank you for your consideration, and I expect you will make the best choice for both the business development of the city as well as the proud residents who love to call Farmington home.

Respectfully,
Hallie Bee Bard
(Loving life on Lake Way for almost 7 years)

Lisa McGill - Fw: Burger King

From: Patrick Thomas <p-thomas@mindspring.com>
To: Thomas Patrick <Patrick.Thomas@trw.com>
Date: 5/8/2019 7:30 AM
Subject: Fw: Burger King

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From: Phyllis Hood

Sent: May 6, 2019 9:27 PM

To: "maccettura@elderlawmi.com", "drcarron@aol.com", "regraham7345@aol.com",
"kingsgarage1@sbcglobal.net", "sbowman@farmgov.com", "p-thomas@mindspring.com",
"pastorrandy@freedomgateway.org"

Subject: Burger King

We have lived on Lakeway for more than thirty years enduring the excessive traffic of special events at Farmington High, lots of cars, loud radios and loud cars. We can't leave our driveway at dismissal. Depending on the time of day it is difficult to turn off of our street or onto it.

Lakeway became Grand River when that street was closed for construction a number of years ago. Detour signs were ignored.

Burger King is a business that is open into the evening. Hence, the noise and traffic could go on.

A drive through will add to the traffic congestion making it all the more difficult to use Grand River to turn onto or off of Lakeway. I live here.

Litter has disappeared since Farmington High closed campus for lunch. Fast food comes with lots of disposables. .
.LITTER.

Will a delivery truck block Lakeway or Grand River traffic?

We VOTE **NO** on Burger King at this location.

Phyllis M. Hood
22899 Lakeway
Farmington, MI 48336

May 5, 2019

Reference: Proposed building and re-zoning of property at Lakeway Street and Grand river Ave.

To: CIA, Planning Commission and Farmington Leadership.

I am very disturbed to here that Burger King wants to build a facility at Grand River Ave and Lakeway street. Lakeway street is residential street in an established neighborhood area with many nice homes. I have lived on this street for more than 30 years and having a fast-food restraint would force me to sell my home even though I love the neighborhood. A fast food restaurant was not my vision or any of the Lakeway street home owners when they bought their homes and it will lower property value. This street is already congested with school traffic, credit union traffic and drive through traffic trying to beat the light at Grand River and Orchard Lake Load. **Farmington should consider what the residents want for the area.** We understand the property will be sold but it is a better fit for a medical office or similar type of business that operates normal working hours 8:00 A.M. – 6:00 P.M. There are other properties in Farmington that would be better suited for this type of business. **A Burger King business on this property does not do anything to improve the surrounding neighborhoods.** The following are key reasons to vote against:

- **Lakeway is a single-family street with many small children.** A business of they type would disrupt family community dynamics.
 - In the evening we sit out on our deck/ patios and enjoy the quit. Other business adjacent to Lakeway street have operating hours 8-6.
 - The street and surrounding neighborhoods are walkable and many of us ride bikes or run. Having a business of the type would cause **safety concerns** for pedestrians by vehicles entering and leaving this business.
 - Lakeway street is already congested with school traffic, teen drivers racing down the street, cut through traffic, credit union traffic. During certain times of the day it is very difficult to make left turn onto Lakeway from Grand River or left turn into the condos on the south side of Grand River. Adding more congestion is a recipe for accidents. **Farmington is supposed to be a walkable community, and this is going the wrong direction.**
 - **Lighting** would be even brighter than it already is.
 - Business of this type tend to **promote hang out for teens.** The high school is just down the street. This type of business promotes teens walking up & down the street. If the school goes to open campus we will see hundreds of students going down Lakeway street. Farmington should think about **zoning for health** and not have this type of establishment convenient accessible to high school students.
- **Drive through**
 - My understanding the property is not zoned to have a drive through.
 - Drive through brings noise pollution, this noise would disrupt our outdoor family time. In the summer we kept windows open. Hearing **“may I take your order”** every day and well in to the night is not what any home owner wants to hear.
 - If the business plans to stay open later than normal business hours, it brings late night drunken crowd. If they only have a drive through open it promotes public urinating because the rest rooms are not accessible.

- Drive throughs get car pile-ups with music blaring and honking of horns.
- **Pollution:**
 - Garbage and dumpster promote a rodent problem. Just last week I found a dead rat in the yard. I believe they came from the river that is very close to this property. Having an abundance of garbage and trash will increase the rodent population.
 - The aroma of grease/meat will fill the air. Have you every driven by greens or McDonalds on orchard lake road (terrible smell).
 - Trash- The wind typically blows north up Lakeway street.
 - My understanding the back portion of this property is R-1P which means the dumpster would have to located in the front or west side of property.

Concern Resident

Michael T Smith

22809 Lakeway

248-921-4152

Lisa McGill - Fw: Burger King plans on Grand River and Lake Way

From: Patrick Thomas <p-thomas@mindspring.com>
To: Thomas Patrick <Patrick.Thomas@trw.com>
Date: 5/8/2019 7:31 AM
Subject: Fw: Burger King plans on Grand River and Lake Way

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From: Mark Baltrusz
Sent: May 6, 2019 4:12 PM
To: maccettura@elderlawmi.com, plazavet@plazavet.net, drcarron@aol.com, regraham734@aol.com, kingsgarage1@sbcglobal.net, sbowman@farmgov.com, p-thomas@mindspring.com, pastorrandy@freedomgateway.org
Subject: Burger King plans on Grand River and Lake Way

Dear Members of the Corridor Improvement Authority,

I am writing this letter to say that WE OBJECT to the building of a Burger King on the corner of Grand River and Lake Way.

Farmington is a nice, quiet community. One of the things that makes our city so beautiful is not being cluttered with fast food restaurants, particularly along the Grand River corridor. This restaurant would be an eyesore unfitting to the character of the city and pose a major health, safety and financial threat for the surrounding residents and businesses.

The residents on Lake Way live on a nice established street where we feel safe letting our children run and play. Now we would have to worry about their safety from people loitering, speeding down our street as a cut through, zipping in and out of the parking lot or turning around in our driveways.

The idling of cars in a drive thru, the unsanitary conditions and smell of dumpsters, greasy cooking exhaust and wrappers being improperly discarded would all have an impact on air and environmental quality. The wind generally blows north up Lake Way and so would the smell and litter.

Traffic turning on or off Lake Way is already heavy at times. Many Farmington High school students and buses use our street to access their school. Adding a drive thru restaurant would cause much more congestion, could possibly block the road for deliveries and potentially lead to serious or fatal traffic accidents.

There is also light and noise pollution. A fast food restaurant is not a 9 to 5 business, it is a brightly lit, noisy monstrosity. Residents love having the windows open for fresh air and being outside. No one wants to have a nice family dinner or relax on their porch in the evening and have to stare at bright parking lot lights, listen to people blaring their radio and constantly hear "may I take your order" over a noisy drive thru speaker.

The effect on property values would also be devastating. If someone on Lake Way, especially in close proximity to the drive thru were to try and sell, they would have to do so at a severely reduced price. If the house were to sell, a Realtor could use it as a comp and it could take down the price of comparable houses withing a mile.

Local businesses could also be affected. Many restaurants in Farmington are not big corporate chains or do not have the ability to install a drive thru and could feel an adverse effect by not being able to compete.

From my understanding, drive thru's require a special variance in Farmington and if Burger King is allowed this variance it might set a very bad precedent. What's next, Mc Donald's? Taco Bell? Where would it end? I would hate to see Farmington become just like any other city and lose it's quaint and peaceful reputation just to allow another big corporation to make a few dollars. Thank you for your time and please do not allow Burger King to diminish the landscape of our beautiful community.

Sincerely,
Mark & Daniele Baltrusz
22712 Lake Way, Farmington, Mi, 48336